

CO10-110
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HISTORIC STRUCTURES REPORT

ARCHITECTURAL DATA SECTION

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THE BALLARD HOUSE
YORKTOWN, VIRGINIA

COLONIAL NATIONAL HISTORICAL PARK

By

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TABLE OF CONTENTS

	PAGE
I. Administrative Data	1
II. Cost Estimate	2
III. Historical Data	3
IV. Architectural Data	4
A. Description of the Structure	4
B. Existing Condition of the Structure	5
C. Proposed Recommendations for Restoration	7
V. Photographs (10 Plates)	11
VI. Measured Drawings (7 Sheets)	21
VII. Proposed South Elevation	28

I. ADMINISTRATIVE DATA

A. Name:

The Ballard House

B. Proposed Use of Structure:

To restore the exterior of the structure to be representative of the revolutionary period.

C. Justification for Use:

The project is in compliance with the recommendation of the Master Plan for the Yorktown Developed Area Plan.

D. Operating the Structure

Since the Ballard House will be an exterior restoration only, Park personnel will continue to occupy the structure, if possible, after the restoration.

II. THE BALLARD HOUSE--COST ESTIMATE

Roof

New shingles and flashing	\$ 1,800.
Gable repair	1,000.

Cornice

Remove existing cornice and gutters	800.
New cornice and eave	2,000.

Masonry

Repair existing brick work	800.
Remove areaway and stoops	900.
New brickwork	800.

Windows

Sash & frame repairs	1,500.
New shutters & repair old	800.
New screening	400.

Entries

New doors, frames and stoops	1,100.
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<u>Exterior Painting & Caulking</u>	1,500.
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<u>Removal of East Addition</u>	7,900.
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<u>Addition to Ell</u>	4,500.
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Interior Work

Painting and finishing	1,400.
Repair work	2,600.
Electrical work	1,300.
Mechanical work (with air-conditioning)	7,000.
Plumbing work	<u>1,700.</u>

Total Net Construction Cost	\$ 39,300
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III. HISTORICAL DATA

The Ballard House and Family by Charles E. Hatch, Jr., Historian, Colonial National Historical Park, Yorktown, Virginia, dated September 1969, is part of this report.

IV. ARCHITECTURAL DATA

A. Description of the Structure

The Ballard House was originally a one and one-half story frame rectangular structure with a porch ell on the north side at the northwest corner. The porch ell was later enclosed and enlarged to house the present kitchen, rear entry hall, a bath, and a storage or dressing room.

The east end of the basic structure was also added. This addition extended the original rectangle by approximately twenty and one-half feet. With this addition, the overall length of the structure is now fifty-seven feet by twenty-six feet and seven inches wide at the ell, and seventeen feet, four and one-half inches wide at the east end of the structure.

The main rectangle of the structure has a gabled tin roof with five gable windows on the south elevation and three on the north elevation. The roof of the ell is a tin shed roof from the eave line of the main roof.

The structure had originally two stepped rectangular shaped end chimneys of brick masonry. The one on the west is unchanged while the one on the east side has been enclosed by the addition.

There is a part unfinished basement under the structure, the remaining areas are crawl space. The foundation walls are of brick masonry construction.

B. Existing Condition of the Structure:

Foundation

There is no evidence of foundation failure at the present and the brickwork in general is in fair condition. The size and character of the bricks and jointing varies with respect to the original structure and its additions or alterations.

Siding

The clapboard siding is in fair condition, but in need of painting and caulking. The siding is not original and varies in exposure and butt thickness.

Roofing

The existing tin roofing is in poor condition, and will have to be replaced for the restoration.

Cornice and Gutting

The wood cornice and galvanize iron guttering are in poor repair at the present time.

Exterior Doors and Windows

The existing wood doors, sash and their frames are in poor repair at this time, but there seems to be no indication of rot or decay. The doors and sashes do not appear to be original.

Shutters

The wood louvered shutters are in fair condition, though some are missing. They do not appear to be original.

Brick Stoops and Lattice Work

The two rear entries with this treatment are in fair condition, and are a relatively new addition to the structure.

Front Stoop and Steps

The wood platform and stairs are in good repair, but in need of paint. They are a recent addition to the structure.

Areaway

The brick and concrete areaway entry to the basement is in fair condition. It appears it was added at the time of the rear stoops.

Interior

The interior areas of the structure are in need of repair and redecoration. In general, the electrical, plumbing, and mechanical equipment are old and out of date.

C. Proposed Recommendations for Restoration

Roofing

Remove existing tin roofing. Check existing sheathing and rafters for rot and decay. Reroof with red cedar shingles.

Siding

The existing clapboard siding is not original, but it is in keeping with the period. The siding should be painted and caulked as required.

Brickwork

The exposed brick of the foundation walls and chimneys should be cleaned and repointed as required. Replace broken brick and brick that has been replaced that does not match the original brick of the structure. The brick caps of the chimneys are in need of repair.

Termite Treatment

The surrounding earth, crawl spaces and basement areas of the structure should be treated for termite protection.

Flashing

Install new lead coated copper flashing at eaves, gables, and chimneys.

Cornice and Rake

The cornice should be redesigned and rebuilt to be in keeping with the historic period. Of course, the design shall hinge on further physical investigation of the historic design of the original cornice and rake.

Gables

The gable roofs shall be reroofed as the main roof. The wood siding should be removed and replaced with beaded diagonal wood siding to be in keeping with the historic period.

Windows

The existing sash and frames do not appear to be original. Though they are in poor condition, they are similar to the type used during the historic period. Therefore, they should be retained, for they are not beyond the point of repair. Period hardware should be used on all sash.

Existing window screen should be removed to comply with the historic restoration. New screen on the interior side of the windows should be installed.

Shutters

The existing louvered wood shutters are in poor repair, but should be repaired and retained and also used as a model for the missing shutters. Period hardware should be used on all shutters.

Doors

The exterior wood doors are not original with the structure. They should be replaced with doors in keeping with the historic period.

Stoops

The two rear brick stoops are recent additions, and are not in accord with the historic period of the structure. They should be removed, and the existing lattice work over them. New stoops should be designed and installed to be in keeping with the restoration.

The front wood stoop and steps are also a recent addition, but they can be altered to conform with the historic period. The stoop and steps are in need of painting.

Areaway

The existing concrete and brick areaway entry to the basement is not in keeping with the historic period of the structure and should be redesigned and rebuilt with a covered cellar entry to conform with the historic period.

Storm Water

The existing metal gutting and downspouts should be removed to comply with the revolutionary period.

Install water deflectors on the roof over all entries to the first floor.

Install period water troughs as required for proper drainage of storm water. If brick is used, match the existing original brick of the structure.

Alterations and Additions

The rear ell enclosure and addition, though not original with the structure, will have to be retained if the structure is to serve as a residence for park personnel. For if it was removed, the kitchen and half of the toilet and bath fixtures would also be removed and the structure could not function as a residence.

The east addition to the structure could be removed. The remaining basic structure could be developed into a pleasing facade of the revolutionary period. (See proposed south elevation, Section VII). If this is achieved, the rear addition should be extended the full length of the structure, which would be an addition of about two feet on the east side. The major drawback in this course would be the loss of two bedrooms and two bathrooms. To compensate for this loss, a bathroom with shower may be installed on the second floor. Also, this would limit the size of the family that would occupy the structure.

Interior Work

Though this project is an exterior restoration, there are some areas of the interior that require work. The up-grading of the electrical service, mechanical equipment and plumbing system should be achieved. Another factor is whether the structure should be air-conditioned, because at the present there are several window units that would have to be removed for the restoration of the structure.

The interior ceiling, walls, and woodwork of the structure require painting and repair work. The floors require repairing and refinishing in some areas. The interior decoration could be accomplished by park maintenance.



PLATE 1
SOUTH (STREET) ELEVATION OF BALLARD
HOUSE AT THE PRESENT



PLATE 2
WEST ELEVATION OF THE BALLARD HOUSE
AT THE PRESENT TIME



PLATE 3
NORTH (REAR) ELEVATION OF THE BALLARD
HOUSE AT THE PRESENT



PLATE 4
EAST ELEVATION OF THE BALLARD HOUSE
AT THE PRESENT TIME



PLATE 5
DETAIL OF FIRST FLOOR ENTRY AT
THE SOUTH ELEVATION



PLATE 6
DETAIL OF FIRST FLOOR ENTRY
AT THE NORTH ELEVATION

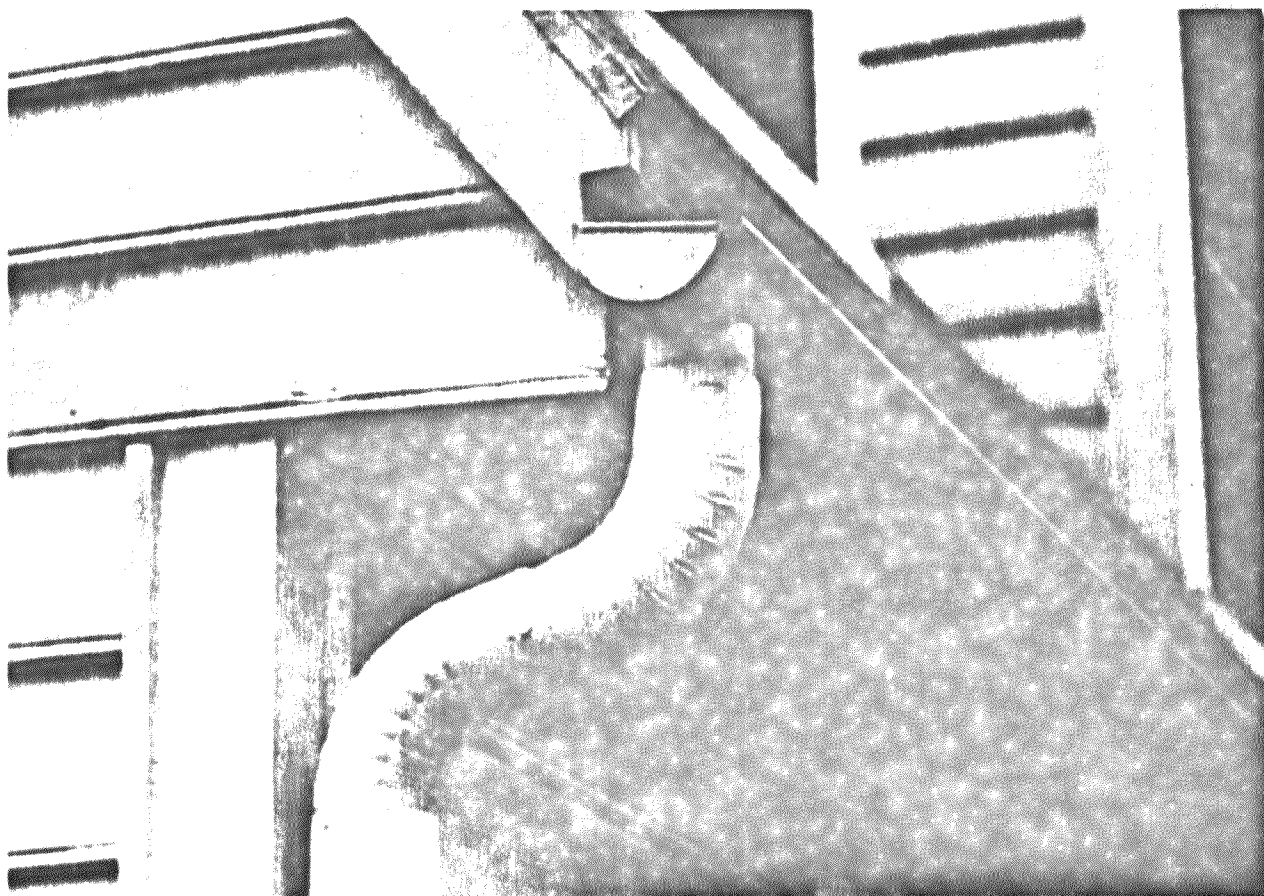


PLATE 7
DETAIL OF CORNICE-EAVE AT THE
SOUTH ELEVATION



PLATE 8
DETAIL OF CORNICE-EAVE AT ELL

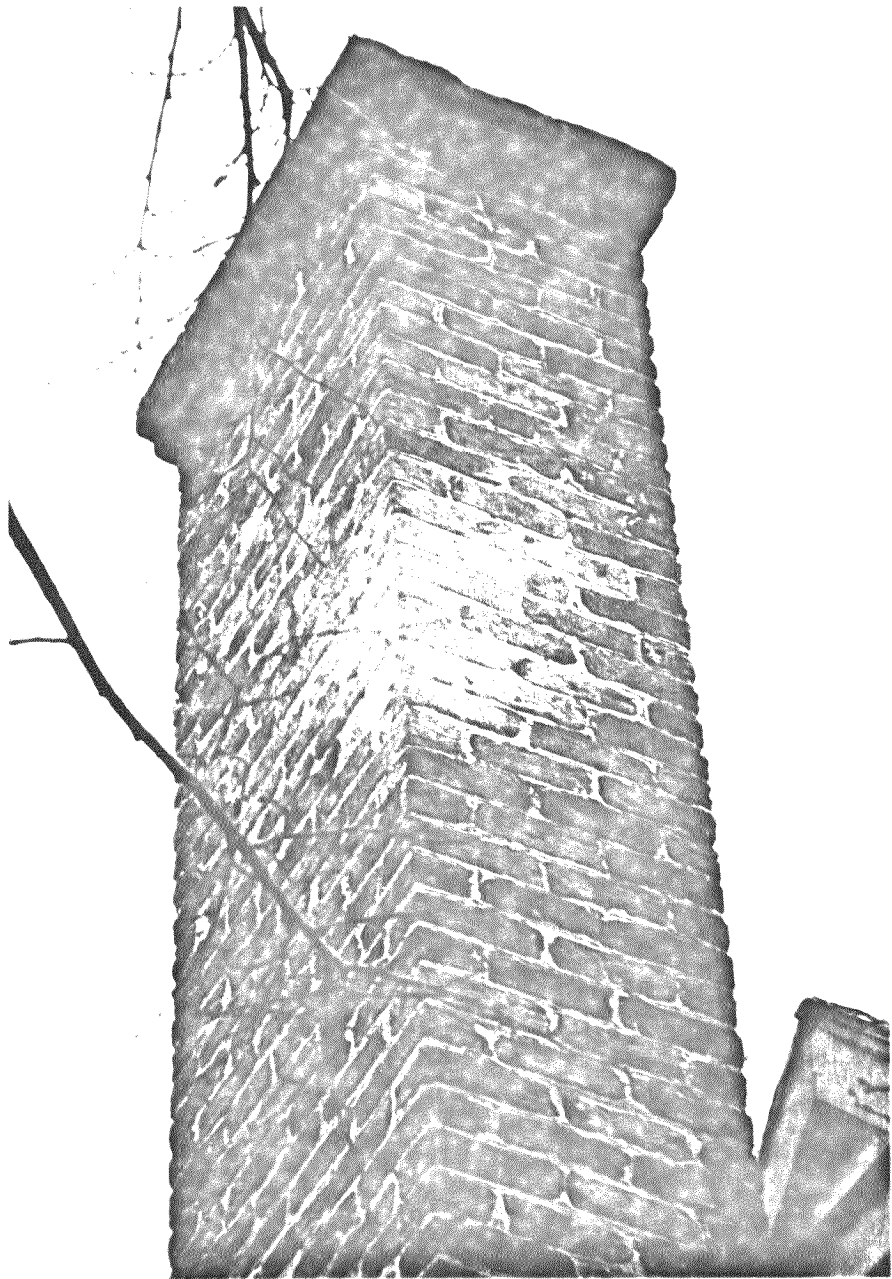


PLATE 9
DETAIL OF BRICK END CHIMNEY

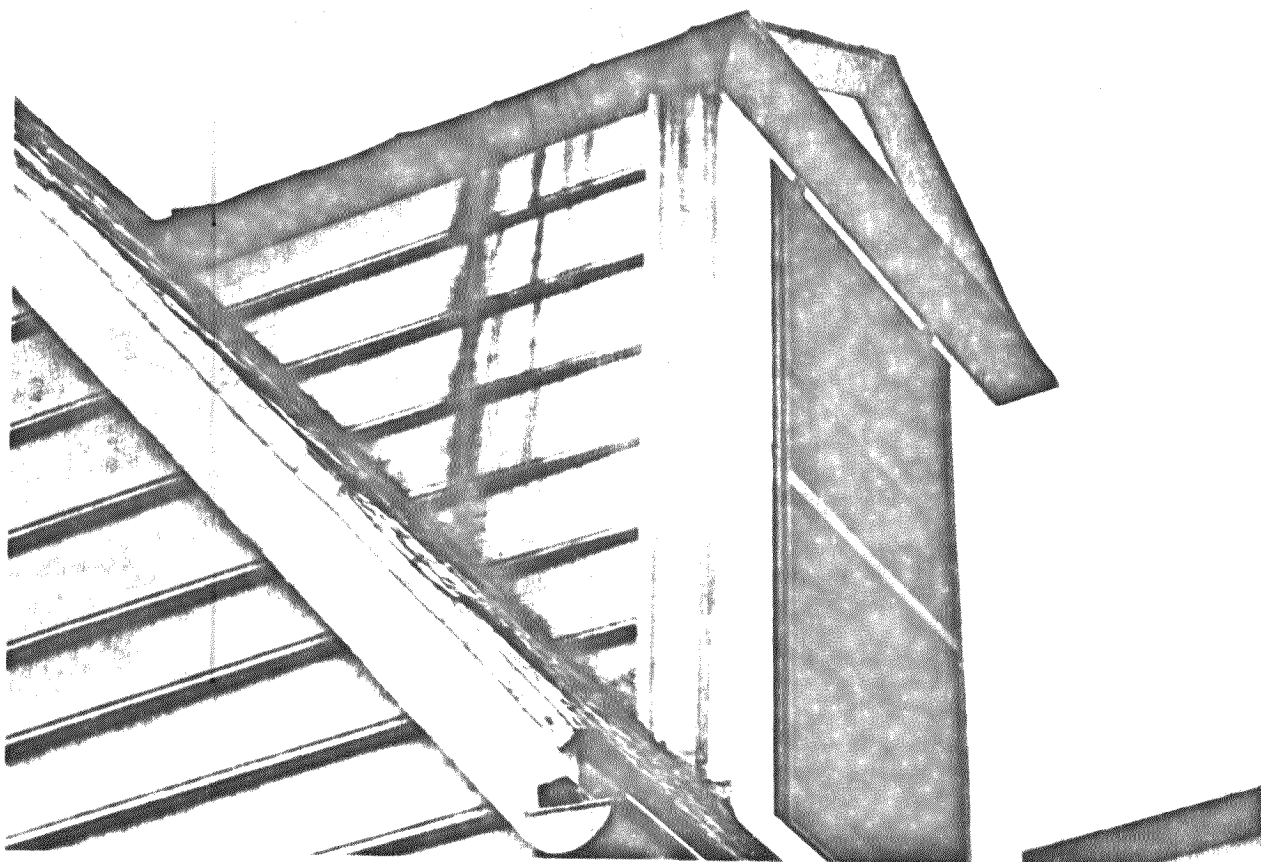
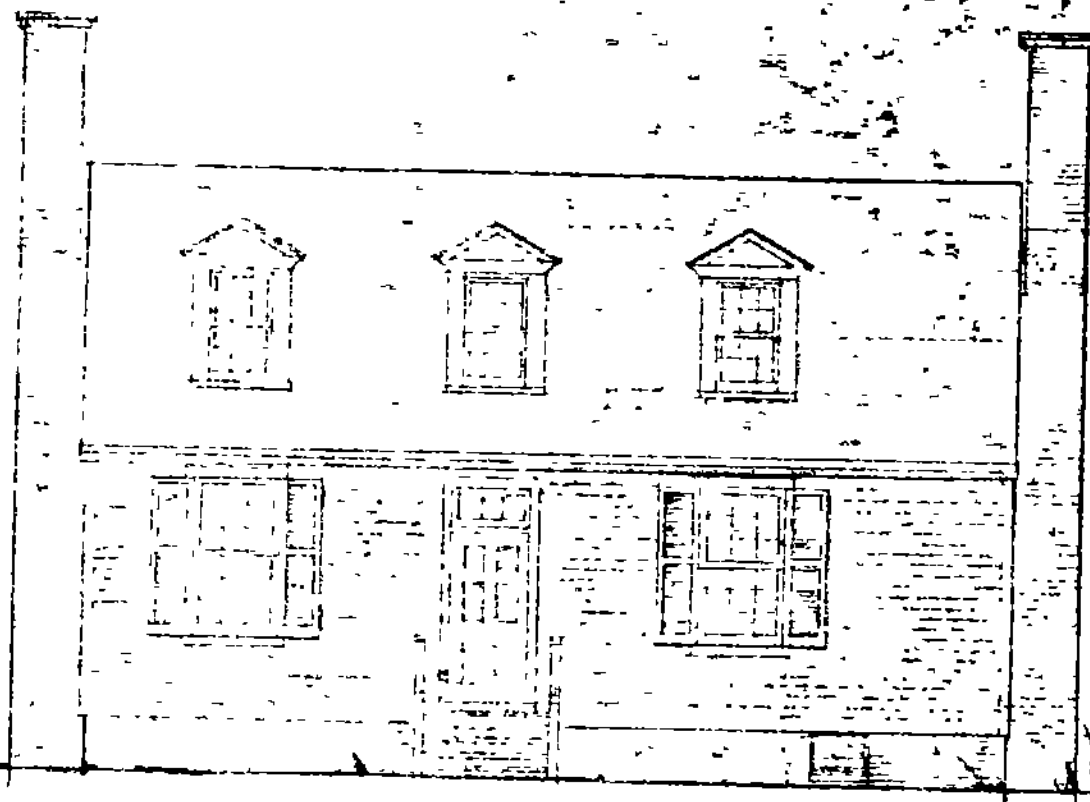


PLATE 10
DETAIL OF TYPICAL GABLE



PROPOSED SOUTH ELEVATION

SCALE 1/8" = 1'-0" 01234