

GOVERNORS ISLAND HISTORIC DISTRICT

*PRESERVATION & DESIGN MANUAL*  
*PART III*

*Building & Property  
Summary Sheets*



*Descriptions of Individual Historic  
Properties located within the Governors  
Island Historic District*

*United States  
General Services Administration*

*January 28, 2003*

The *Building & Property Summary Sheets* have been developed by the General Services Administration as part of the *Governor's Island Preservation & Design Manual*, in consultation with New York City Landmarks Preservation Commission, New York State Historic Preservation Office, Advisory Council on Historic Preservation, and National Trust for Historic Preservation.



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Development of this document was accomplished with the assistance of information provided by Beyer Blinder Belle Consortium, and the New York City Landmarks Preservation Commission, and with the extensive work carried out by John Milner Associates in conducting site surveys, property analysis, and documentation of Governor's Island.

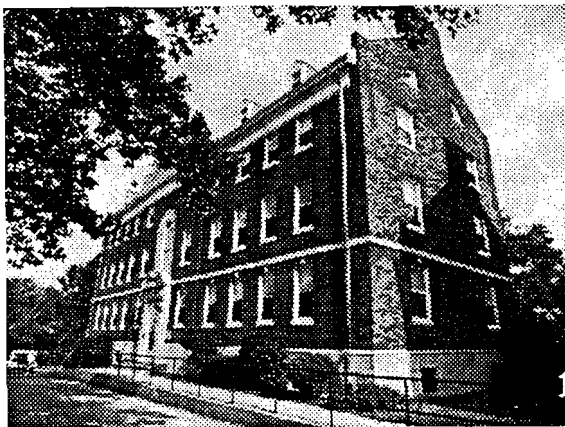
**T**he Governor's Island Building & Property Summary Sheets have been created to assist in guiding development of the Governor's Island Historic District portion of the Island, while ensuring preservation of the historic and architectural resources that contribute to its importance. The Summary Sheets, along with the companion Preservation & Design Standards, and Design & Development Guidelines, comprise the Governors Island Preservation & Design Manual.

The Summary Sheets lists each property within the boundaries of the Historic District, categorizes those properties based on their historic and architectural contribution to the District, and identifies those elements of the property that are important to understanding its significance.

In a number of instances, buildings within the District do not contribute to its importance or, in some cases, detract from its historic or architectural integrity. Non-contributing and intrusive buildings can be demolished, and the result will not damage the Historic District.

In a few buildings, the Admiral's House, Building 125, and South Battery, portions of the building interiors are considered important. In all other cases, although some interesting details may have survived extensive remodeling over the years, none of the existing interiors are worthy of preservation.

Questions of interpretation of the Summary Sheets to individual projects within the Governor's Island Historic District will be provided by New York City and State review agencies.



Building #112

**G**overnor's Island comprises 172 acres of land in Upper New York Bay, one-half mile off the southern tip of Manhattan. Approximately 121 acres of the north half of the Island were designated a National Historic Landmark by the U.S. Department of the Interior in 1985. New York City Landmarks Preservation Commission designated the area as a Historic District in 1996. Within the Governor's Island Historic District there are 102 buildings, 75 of which have been determined as contributing to the historic significance of the Island.

Architectural styles on the Island range from early fortification to Colonial Revival, with a liberal distribution of non-descript utilitarian structures. The earliest fortifications were constructed using red sandstone, with a majority of the other buildings within the historic district constructed of red brick. The use of red brick, with light stone trim, serves to unite the historic features within the historic district, as does the overall small scale, usually not higher than two or three stories tall.

As expressed in the National Historic Landmark designation for the property, "The historic district is a loosely knit collection of individual historic properties and features, and several complexes of related buildings erected during various military eras". The early fortifications, Castle Williams, Fort Jay, and the South Battery, occupy what were the most strategic defensive positions on the Island. Castle Williams was constructed on the north point of the Island, located to protect the entrance to New York Harbor. Fort Jay was placed at the highest point of land on the Island, affording an unobstructed view on all sides to the waterfront. And, South Battery was situated at the southeast corner of the Island, facing Buttermilk Channel.

As the function of the Island shifted from a fortification to an Arsenal, and later a military base, buildings and structures were added to accommodate new needs and uses. A grouping of Arsenal structures were constructed on the north side of the Island, and garrison functions were located along the flat hilltop southeast of Fort Jay. These buildings established the eastern edge of an open space later named "Nolan Park". In the last half of the 19th century additional residential units were erected around this open space, fully enclosing the park.

In the last part of the 19th century, the southwest portion of the Island was the site of new Officer's Housing, which originally faced the harbor. These are large, red brick structures constructed using standardized Army Quartermaster plans. The last large grouping are 13 Georgian Revival buildings constructed between 1924-1940 to accommodate the 16th. Infantry. They extend across the full width of the Island along the southern edge, and extend up the east to west shorelines in a wide U-shape.

South of Division Road, outside of the historic district, there are numerous temporary buildings, none of which are historic or architecturally significant.

Within the historic district there are a number of sensitive historic and prehistoric archeological sites. To a great extent these are focused at the original Island edges, and in the area of Fort Jay.

In addition, there are landscape features associated with historic development of the Island that contribute to its importance, such as Nolan Park, the glaxis surrounding Fort Jay, Colonel's Row Green, memorials, and landscaping within the historic district and along the Island's boundary roads.





View of Governors Island looking north  
Lower Manhattan above, Buttermilk Channel to the right.  
The upper portion of the Island is the Governors Island  
Historic District, the lower portion is of more recent  
development and is non-historic.

Each of the buildings and sites within the historic district have been classified based on their individual historic and architectural significance.

- Category 1 properties are individually listed in the National Register of Historic Places, or have been designated as individual landmarks by New York City Landmarks Preservation Commission, and contribute to the significance of the Governors Island Historic District.
- Category 2 properties are contributing resources within the National Historic Landmark and the NYC LPC Governors Island Historic District.
- Category 3 properties are non-contributing elements within the National Historic Landmark and the NYC LPC Governors Island Historic District.
- Category 4 properties are intrusions into the Governors Island Historic District.

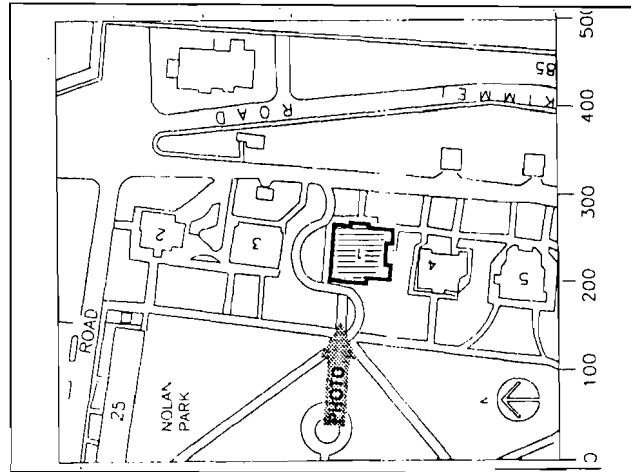
# *PROPERTIES WITHIN THE GOVERNORS ISLAND HISTORIC DISTRICT*

#	Property Name	Date	Cat	#	Property Name	Date	Cat
1	Admiral's House	c.1843/1930	1	201	Fort Jay	1806-09	1
2	Governor's House	c.1813/1930	1	202	Ft. Jay Family Housing	1834-36	1
3	The Dutch House	c.1846/1920	2	203	Garage	1935-38	3
4	Field Officer's Quarters	c.1857	2	204	Triangle	1834-36	2
5	Field Officer's Quarters	c.1857	2	205	Garage	1935-38	3
6	Company Officer's Qtrs	1878	2	206	Ft. Jay Family Housing	1834-36	1
7	Company Officer's Qtrs	1878	2	207	Triangle	1834-36	2
8	Company Officer's Qtrs	1878	2	208	Garage	1935-38	3
9	Block House	1839/1934	1	209	Garage	1935-38	3
10	Company Officer's Qtrs	1878	2	210	Ft. Jay Family Housing	1834-36	1
11	Steward's Quarters	1878/1930	2	211	Garage	1935-38	3
12	Officers' Housing	1931	2	212	Garage	1935-38	3
13	Chapel of St. Cornelius	1905	2	213	Triangle	1834-36	2
14	Company Officer's Qtrs	1879	2	214	Ft. Jay Family Housing	1834-36	1
15	Company Officer's Qtrs	1879	2	217	Garage	1935-38	3
16	Company Officer's Qtrs	1879	2	218	Garage	1935-38	3
17	Company Officer's Qtrs	1878	2	251	Tampa Library	1908	3
18	Company Officer's Qtrs	1879	2	293	Motel/Guesthouse	1986-97	4
19	Company Officer's Qtrs	1891	2	298	South Battery	1840-78/1936	2
20	Officer's Quarters	1902/1936	2	301	School	1934/1959	2
25	Ordance Storehouse	1811/1936	2	309	Catholic Chapel	1942	3
33	Garage	1934	3	315	Family Housing	1938-40	2
35	Garage	1934	3	324	YMCA	1926	2
36	Garage	1934	3	330	Theater	1937-39	2
39	Garage	1934	3	333	Detachment Barracks	1932	2
40	Jewish Chapel	1918	2	400	Liggett Hall	1928	2
45	Transformer Building	1933	4	403	Officer's Housing	1904-06	2
46	Garage	c.1942	3	404	Officer's Housing	1929	2
85	Storehouse	1932	3	405	Officer's Housing	1893	2
91/95	Omaha Dock		4	406	Officer's Housing	1893	2
92	Transformer Building	1942	3	407	Officer's Housing	1894	2
96	Group Engineering	1986	3	408	Officer's Housing	1895	2
104	Ordinance Storehouse	1850/1882	2	409	BOQ	1910	2
105	Armory	1853/1940	2	410	Officer's Housing	1917	2
106	Reservoir Pump house	1941		414	Garage	1941	3
107	Storehouse	1833/1904	2	415	Garage	1938	3
108	Marshall Hall	1945	3	431	Monument (Bench)	1954	2
109	Administrative Offices	1918/1945	3	456	Monument	1807-11	2
110	Storage Depot	1870-79	2	501	Castle Williams	1805	1
111	Family Housing	1934	2	513	Enlisted Quarters	1970/1993	4
112	Family Housing	1934	2	515	Post Hospital	1935/1980	2
114	Nurses' Quarters	1934	2	517	Medical Clinic	c.1942	3
125	Pershing Hall	1934	2	518	Biohazard Storage		4
130	Workshop	1843/1971	2	519	Emergency Generator	1958	3
134	Station New York	1986	3	525	Storehouse	1964	3
135	Commander's Quarters	1839/1977	2	550	Barracks	1938-40	2
140	Storehouse	1857-67	2	555	Family Housing	1938-40	2
142	Soissons Dock	1947	3				
144	Soissons Dock	1947	3		Nolan Park	1860	2
146	Generator Building	1934	3		Glacis	1806-09	2
147	Mechanical Equipment		4		Colonel's Row Green	c.1893	2
148	Ferry Waiting Building	1917	3		Vistas		2
155	Transformer Vault		4				

**BUILDING #1**  
**ADMIRAL'S HOUSE**



*Front Elevation*



*Site Location Map*

**ARCHITECTURAL DESCRIPTION**

Building One, formerly "Commanding General's Quarters," is a two and one-half story house located along the east perimeter of Nolan Park. Rectangular in plan and constructed of brick on a stone foundation, the building sits on a bluff overlooking the confluence of the East River and Buttermilk Channel. The structure is topped with low sloped, standing seam terne metal, gable roofs. Six brick chimneys penetrate the roof. Porticoes with six two-story Doric columns are located on the east and west facades. The porticoes are surmounted by wood balustrades. A onestory porch, surmounted by an iron railing, is located at the southwest corner. Fenestration is comprised of six-over-six double-hung windows on the first floor, six-over-nine double-hung windows on the second floor, and paneled wood doors. All windows have sandstone sills and lintels. The main entrance faces Nolan Park and is flanked by cast iron lampposts. Other names used for this structure include Admiral's House, Admiral's Quarters, Quarters One.

**SITE LOCATION**

Building One is located near the center of the Nolan Park, with its front entrance facing west toward the Park. Both the north and east elevations front streets, with the south elevation facing Building #4.

**HISTORIC DEVELOPMENT**

In 1843, a two-story house, designed in the Greek Revival style by New York City architect Martin E. Thompson, was constructed to serve as new quarters for the commanding officer of Fort Columbus. This new construction replaced Quarters 2, which was then used for offices and as a guard house. In 1936 the building went through a major renovation by Charles O. Cornelius as part of WPA-era work on the island. Cornelius removed the peak roof, redesigned the rear of the house, replaced wooden porch elements with brick, and embellished the front and rear porches with ironwork.

**SIGNIFICANCE**

Building One is a Category 1 property.

This structure is individually listed on the National Register of Historic Places and was designated a New York City Landmark on September 19, 1967. Building One is one of the few structures on the island that has had a single continuous use. Since its construction in 1843 it has been home to a number of important Army and Coast Guard leaders including Winfield Scott Hancock, Adna R. Chafee, Leonard Wood, Robert L. Bullar, and Dennis E. Nolan. In 1988 a historic luncheon meeting between President Ronald Reagan and Soviet Union President Mikhail Gorbachev took place in the house.



*Side Elevation*

#### WHAT IS IMPORTANT TO PRESERVE?

Although Building One has been modified from its original appearance, it retains a great deal of its original character, and major renovations during the 1930s have contributed to the significance of the property.

Exterior elements of the building that should be preserved include the basic building form, scale, and materials; its setting; front entry; multi-paned windows and panel doors; millwork; columns; shutters; portico roof at south side entry; rear portico and steps; open porches; chimneys, lighting fixtures, foundation landscaping; and, brick walkways leading to the front entry and surrounding the building.

Building One is one of the few structures within the Governors Island Historic District that contain interior detailing that contributes to the significance of the property. Accordingly, certain interior elements within the main spaces of the house should be preserved. They include: front door and vestibule door leaded glass sidelights & transom; first and second floor doors and door surrounds and jambs; ceiling molding; floor-to-ceiling windows and French doors with transoms in all first floor rooms except for kitchen, and pantry; front & rear (split) stair; cabinetry with concealed safe in family room; five fireplaces with their surrounds, original 1930s metal cabinets in kitchen; pocket doors between front & rear parlors;



*Rear Elevation*

light fixtures from 1930s; wainscoting; fireplaces in five bedrooms; hardwood floors; library shelving in small rear bedroom.

#### KEY PRESERVATION ISSUES

Those elements that contribute to the character and significance of the property should be maintained. When removing non-contributing elements, leave as much historic fabric intact as possible. Alterations associated with reuse should retain residential character of interior. Repair deteriorated fabric in-kind.

Building One is a prominent landmark within the Historic District. New construction or additions affecting the exterior are discouraged. If required, additions to the building, or handicap access, should be limited to the south elevation.

#### LANDSCAPE & SITE FEATURES

Building One is surrounded by sloped brick and slate walkways and driveways. Mature trees are located around the building. Two cannon flank the path leading to the main entrance. These elements are important landscape and site features and should be preserved.

For further information on landscape features related to this building, see the property summary sheet for Nolan Park.

**BUILDING #2  
GOVERNOR'S HOUSE**



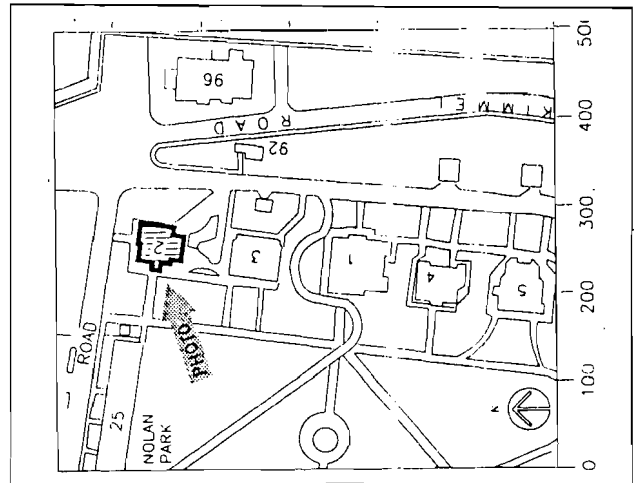
*Front Elevation*

**ARCHITECTURAL DESCRIPTION**

Building #2 is a compact two-story structure, originally in the form of a Greek Cross in plan. Built c. 1813 in the Georgian Revival style, its brick basement walls are capped by a brownstone belt course supporting Flemish bond brick walls. The pedimented gable ends feature prominent wood cornices. Splayed brick lintels and brownstone sills frame 6-over-6 double hung wood windows. The first floor is raised and the house is entered by way of concrete steps on a brick base leading to an entrance portico whose ionic columns and pilasters support a full entablature. The 1930's garage addition to the east features brick walls and a cast stone belt course and sills.

**SITE LOCATION**

Located along Andes Road, the primary axis between Buttermilk Channel and the main entrance to Fort Jay, Building #2's prominent location allowed it to control access to the and from the Island. Historically, the building's relationship to the water was as important as its relationship to the rest of the Island; it is one of the few buildings that survive from the Fortification period of the Island's history. As the Island's function changed from that of fortification to that of administration, as Nolan Park developed later during the Nineteenth Century, and with the



*Site Location Map*

development of Soisson's Dock as the primary public landing area, the building's location lost some of its prominence. At present, it defines the corner of the grouping of buildings that form Nolan Park.

**HISTORIC DEVELOPMENT**

Sometimes misnamed the Governor's House, Building #2 is the oldest habitable structure on Governors Island. Built c.1813, it was the original guardhouse for the Island and was subsequently converted in 1824 for use as the commanding officers quarters. With the 1843 construction of Building #1 as the new commanding officers quarters, Building #2 became the offices of the Post Commanding officer, although its basement remained in service as a guardhouse at least as late as 1863. After 1922, the building was converted again into officer's quarters.

The building has been altered several times. By 1839, the combination hip/gable roof was in place and one-story porches on each floor replaced an original two-story portico. As a part of the 1930's WPA work, the original cruciform plan was largely obscured by the one-story Colonial Revival addition that wraps the north and east side of the building.



*Setting*

#### SIGNIFICANCE

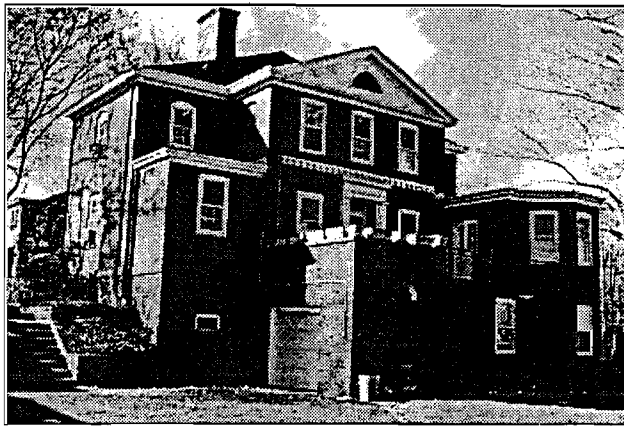
Building #2 is a category 2 property.

The building is individually listed on the National Register of Historic Places and was designated an individual New York City Landmark on September 19, 1967. Building #2 is the oldest non-fortified building within the Governors Island Historic District, and is the only habitable building remaining from the Island's fortification period. Building #2's location and its history of uses attest to the changing function of the Island from its earliest military occupation.

#### WHAT IS IMPORTANT TO PRESERVE?

The exterior of Building #2 retains most of its original exterior materials and appearance. The most significant alteration to the building was the 1930's one-story addition that significantly compromises the relatively pure and straightforward form of the building. The interior of the building was also substantially renovated during the 1930's, with the replacement of much of the wood trim.

Exterior elements of the building that should be preserved include its scale; brick walls and brown-stone belt course and sills; chimneys; wood windows and doors including transoms; ionic portico; wood cornices and painted gable end with louvered attic window; and, ironwork railing on rear patio.



*Rear elevation*

Because of the extensive renovations, there are no interior elements that should be preserved.

#### KEY PRESERVATION ISSUES

The location of Building #2 at the tip Nolan Park and its orientation are important, as is the evolved character of the building.

Because of the prominence of the building, and its location, there are no suitable areas on its north, west, or east sides where additions could be placed.

#### LANDSCAPE & SITE FEATURES

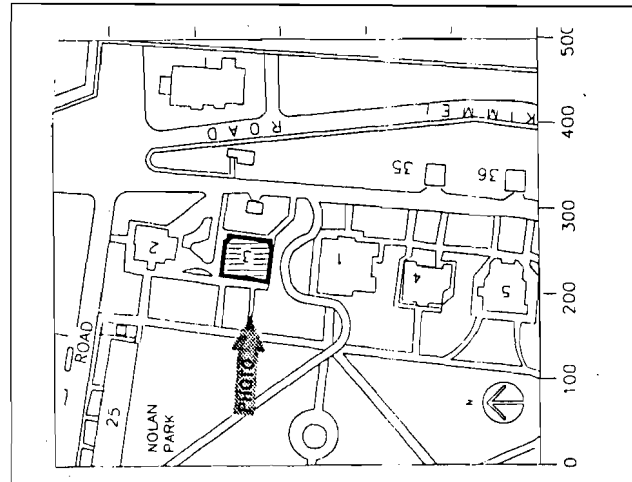
Building #2 is surrounded by sloped brick and slate walkways and driveways, and mature trees. An enclosed elevated yard is located on the east (rear) side and is surrounded by a high retaining wall. All of these features contribute to the significance of the property, and should be preserved and maintained.



**BUILDING #3  
THE DUTCH HOUSE**



*Front Elevation*



*Site Location Map*

**ARCHITECTURAL DESCRIPTION**

Building #3 is a two-story twin (two-family) rectangular "Dutch" utilitarian house built of common brown brick walls laid in common bond on schist stone foundation walls. Its stepped gable ends have caused it to be known as "The Dutch House". Windows have wood 12-over 12 and 2-over 2 double-hung sash with brownstone sills and jack-arched heads. Simple hipped-roof entry porches were added at the west facade during the early 1920's. Several original openings have been altered or bricked up. The east elevation has wood clapboard walls and a recently-constructed screened porch. (The two sides of Building #3 have been commonly denoted as #3A and #3B. For the purposes of this property summary, it is considered one building).

**SITE LOCATION**

Located between Buildings #1 and #2, Building #3's location and original orientation related directly to the docks where goods were off- and on-loaded. Historically, the building's relationship to the water was as important than its relationship to the rest of the Island, for which it served as storehouse.

**HISTORIC DEVELOPMENT**

Built c.1846 as a storehouse for the commissary and the Quartermaster, the interior of the building was originally clear span space typical of warehouses. Its orientation was originally north towards a cobbled way that led down to the docks along Buttermilk Channel, to allow for the movement of goods in and out of the building. The first story was originally for stores and provisions and the second was for clothing and issuing. Building #3's construction is associated with the move of the Federal military headquarters to Governors Island, the development of the Island as an arsenal, and its loss of strategic importance. Building 3's historic role was that of on-Island supply depot.

The Army converted the building in 1920-1922 to officer's housing for two families, reorienting it towards Nolan Park.

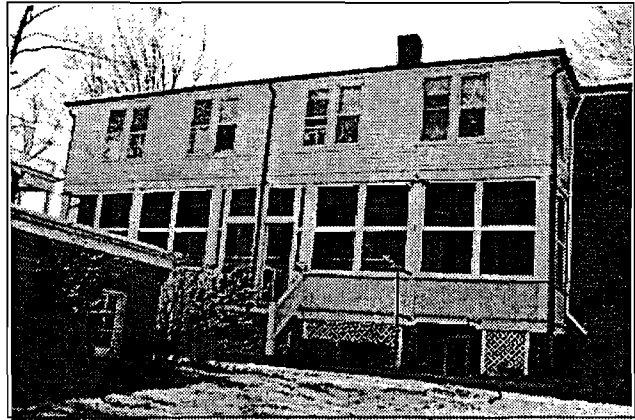
**SIGNIFICANCE**

Building #3 is a category 2 property.

Its evolution reflects the change of the Island's function from harbor defense to military command post.



*Side Elevation*



*Rear Elevation*

#### WHAT IS IMPORTANT TO PRESERVE?

The exterior of Building #3 has changed form from its original configuration. The altered window and door openings and the west facade porticoes contribute to the significance of the building in that they help explain how the buildings on the Island were altered to accommodate Governors Island's changing role in the National Defense. The wood clapboard and the east screen porches detract from the building's integrity.

Exterior elements of the property that should be preserved include its scale and form; brick walls, stone foundation walls; brownstone sills; steppe gable end; and, wood windows and doors.

Because of numerous remodelings, there are no interior elements that should be preserved.

#### KEY PRESERVATION ISSUES

The location and orientation of the building within the Nolan Park complex of properties is important, as is the history of the building.

#### LANDSCAPE & SITE FEATURES

Building #3 is surrounded by sloped brick and slate walkways and driveways, and mature trees. These elements should be preserved and maintained.

**BUILDING #4**  
**FIELD OFFICERS' QUARTERS**



*Front Elevation*

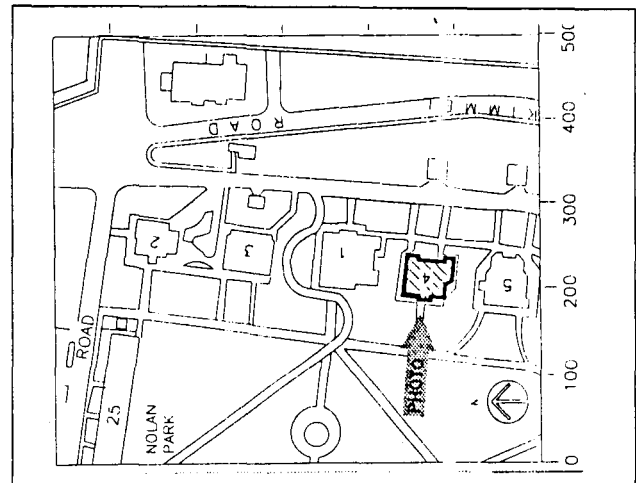
**ARCHITECTURAL DESCRIPTION**

Building #4 is a two-and-a-half-story twin (two-family) rectangular "Italianate Vernacular" Style house built of wood frame construction on painted brick foundation walls. Exterior clapboard walls rise to meet a simple board cornice at the eaves; the simple gable roof is covered in asphalt and punctured by dormers. The full-width front porch faces west and is supported by heavy square posts connected by simple railings and balusters. Six-over-six double-hung wood windows are protected by aluminum storm windows. Paneled wood doors have glazed transoms and aluminum storm doors.

On the east side of the house, the original porch of the north unit has been enclosed; the screen porch at the south unit remains. An undistinguished one-story addition at the south side contains a later kitchen below a hip roof with a shed extension. (The two sides of Building #4 have been commonly denoted as #4A and #4B. For the purposes of this Building Summary, it is considered one building.)

**SITE LOCATION**

The siting of Building #4 was the first step in extending the building line established by the Commandants Quarters, Offices and the Storehouse



*Site Location Map*

(Buildings #1, #2, and #3). Once complete, they created a symmetrical composition about the Commandant's Quarters at Building #1

**HISTORIC DEVELOPMENT**

Built c.1857 as Field Officer's Quarters, Building #4 has retained its residential function and character. Its porches and dormers were added in the 19th Century, and the addition to the south side dates to the turn of the century. Buildings #4 and #5 were built at the same time as the first Field Officer's housing on the Island and served as the models for the small-scale wood frame residential buildings that were built during the remainder of the 19th Century, and that enclose most of the space at Nolan Park. Asphalt shingles that were installed over clapboards in the 50's were recently removed.

**SIGNIFICANCE**

Building #4 is a Category 2 property.

The role of Building #4 on the island was as part of its "administrative center" with Building #5. Built three years after the Island was changed from an artillery post to a recruiting depot, Building #4 is one of the earliest frame structures to survive on Governors Island.



*Side Elevation*

#### WHAT IS IMPORTANT TO PRESERVE?

Although Building #4 has received additions in the 19th and 20th centuries, it retains much of its original character. Its original siding materials, and the large front porches date back to the nineteenth century, although the railings appear to be of recent vintage. The addition on the south of the building is sympathetic and does not detract from its character.

Exterior elements of the building that should be preserved include the basic form, scale, and style of structure; clapboard, brick basement walls, chimneys, front and rear porches, windows, doors, trim, and dormers.

There are no interior elements that should be preserved.

#### KEY PRESERVATION ISSUES

Building #4 is one of a group of residential structures which establish and define the east edge of Nolan Park and, as such, is an important element within the Governors Island Historic District. In addition, the relationship between Building #4 and Buildings #1 and #5, including sideyard open space, should be preserved.



*Rear Elevation*

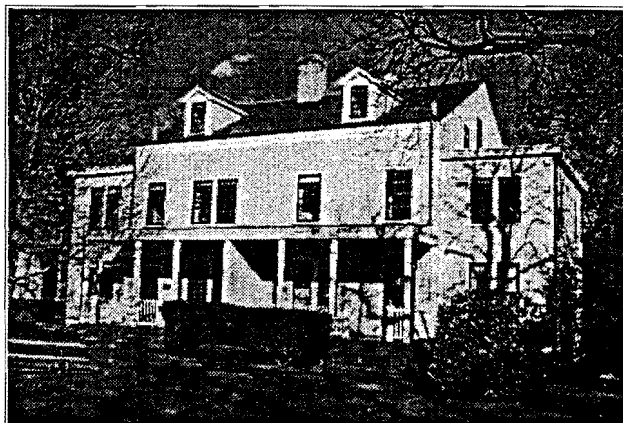
Because of its siting, above grade additions to Building #4 should not be placed on either its west or east facade. Any additions between it and Buildings #1 and #5 should take into consideration, and maintain, open space between the buildings.

#### LANDSCAPE AND SITE FEATURES

Building #4 is surrounded by sloped brick and slate walkways and driveways, and mature trees are located around the building. These site elements should be preserved and maintained.

For further information on landscape features related to this building, see the property summary sheet for Nolan Park.

**BUILDING #5**  
**FIELD OFFICERS' QUARTERS**



*Front Elevation*

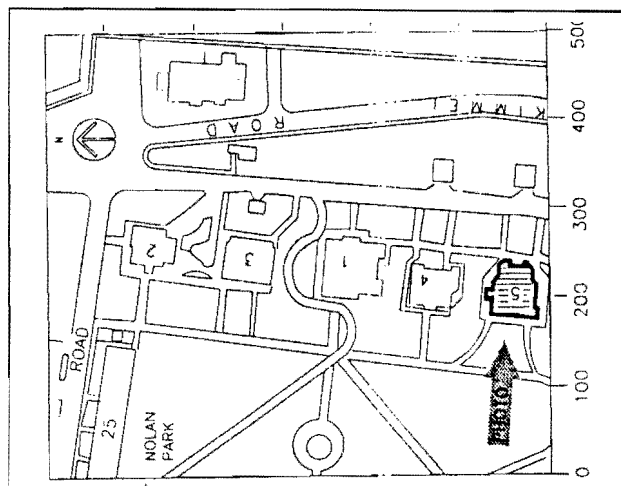
**ARCHITECTURAL DESCRIPTION**

Building #5 is a two-and-a-half-story twin (two-family) rectangular "Italianate Vernacular" Style house built of wood frame construction on painted brick foundation walls. Exterior clapboard walls rise to meet a simple board cornice at the eaves; the simple gable roof is covered in asphalt and punctured by dormers. The full-width front porch faces west and is supported by heavy square posts connected by simple railings and balusters. Six-over-six double-hung wood windows are protected by aluminum storm windows. Paneled wood doors have glazed transoms and aluminum storm doors.

On the east side of the house, the original porch of the north unit has been enclosed; the screen porch at the south unit remains. An undistinguished one-story addition at the south side contains a later kitchen below a hip roof with a shed extension. (The two sides of Building #5 have been commonly denoted as #5A and #5B. For the purposes of this Building Summary, it is considered one building.)

**SITE LOCATION**

The siting of Building #5 was the first step in extending the building line established by the Commandants Quarters, Offices and the Storehouse



*Site Location Map*

(Buildings #1, #2, and #3). Once complete, they created a symmetrical composition about the Commandant's Quarters at Building #1

**HISTORIC DEVELOPMENT**

Built c.1857 as Field Officer's Quarters, Building #5 has retained its residential function and character. Its porches and dormers were added in the 19th Century, and the addition to the south side dates to the turn of the century. Buildings #4 and #5 were built at the same time as the first Field Officer's housing on the Island and served as the models for the small-scale wood frame residential buildings that were built during the remainder of the 19th Century, and that enclose most of the space at Nolan Park. Asphalt shingles that were installed over clapboards in the 50's were recently removed.

**SIGNIFICANCE**

Building #5 is a Category 2 property.

The role of Building #5 on the island was as part of its "administrative center" with Building #4. Built three years after the Island was changed from an artillery post to a recruiting depot, Building #5 is one of the earliest frame structures to survive on Governors Island.



*Side/Rear Elevation*

#### WHAT IS IMPORTANT TO PRESERVE?

Although Building #5 has received additions in the 19th and 20th centuries, it retains much of its original character. Its original siding materials, and the large front porches date back to the nineteenth century, although the railings appear to be of recent vintage. The addition on the south of the building is sympathetic and does not detract from its character.

Exterior elements of the building that should be preserved include the basic form, scale, and style of structure; clapboard, brick basement walls, chimneys, front and rear porches, windows, doors, trim, and dormers.

There are no interior elements that should be preserved.

#### KEY PRESERVATION ISSUES

Building #5 is one of a group of residential structures which establish and define the east edge of Nolan Park and, as such, is an important element within the Governors Island Historic District. In addition, the relationship between Building #5 and Buildings #4 and #6, including sideyard open space, should be preserved.

Because of its siting, above grade additions to Building #5 should not be placed on either its west or east facade. Any additions between it and Buildings #5 and #6 should take into consideration, and maintain, open space between the buildings.

#### LANDSCAPE AND SITE FEATURES

Building #5 is surrounded by sloped brick and slate walkways and driveways, and mature trees are located around the building. These site elements should be preserved and maintained.

For further information on landscape features related to this building, see the property summary sheet for Nolan Park.

**BUILDING #6**  
**COMPANY OFFICER'S QUARTERS**



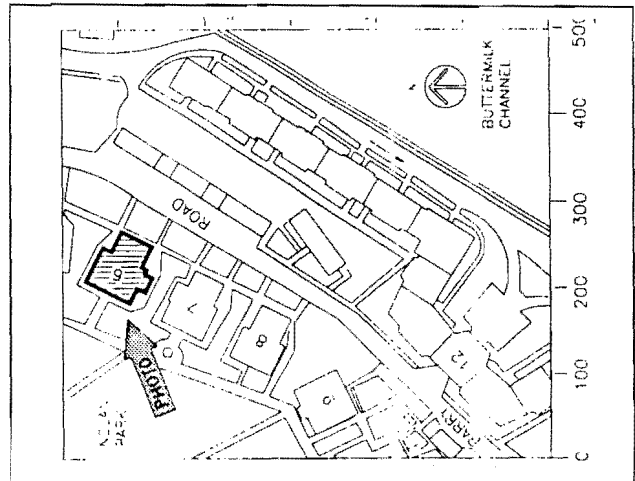
*Front Elevation*

**ARCHITECTURAL DESCRIPTION**

Building #6 is a two-and-a-half-story T-shaped twin (two-family) "Victorian Vernacular" Style house built of wood frame construction on painted brick foundation walls. Exterior clapboard walls rise to meet a board cornice at the eaves; the simple gable roof is covered in asphalt and punctured by two single and one double dormer on the front slope and two double dormers on the rear slope. The full-width front porch faces west; its shallow hipped roof is supported by heavy square posts connected by simple newels, railings and balusters. Aluminum storm windows protect the six-over-six double-hung wood windows. Paneled wood doors have glazed transoms and aluminum storm doors. One story structures have been added to both the north and south sides of the building. (The two sides of Building #6 have been commonly denoted as #6A and #6B. For the purposes of this Building Summary, it is considered one building).

**SITE LOCATION**

Building #6 is located alongside its twin, Building #7 and continues at a slight angle the wall of buildings that form the east side of Nolan Park. The angle reflects the change in the adjacent shoreline and



*Site Location Map*

serves to connect the predominant building line with the front of Building #9, which was built in 1839. The siting of Building #6 was the result of the unified vision that created Nolan Park.

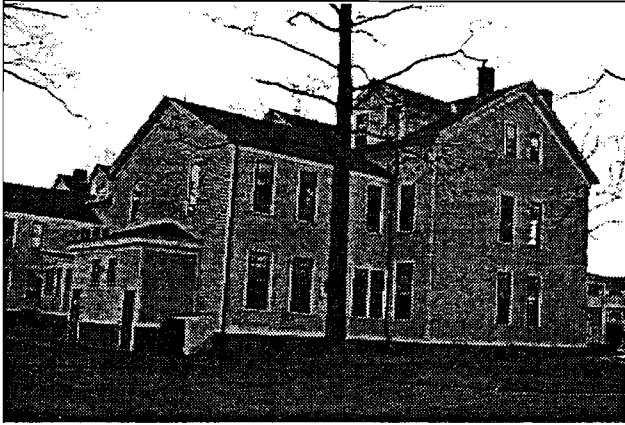
**HISTORIC DEVELOPMENT**

Built in 1878 as a double unit for Company Officer's Quarters, Building #6 was intended to accommodate the arrival of officers associated with Fort Columbus' becoming the Headquarters of the Military Division of the Atlantic and the Department of the East. Building #6 has retained its residential function and character, serving most recently as housing for Coast Guard officer's families. The south addition was built in the early 20th Century and the north side addition was added later. Asphalt shingles that were installed over clapboards in the 1950's were recently removed, and the enclosure of the front porch was reversed. Buildings #6 and #7 were built as a matched pair, and were a part of the building campaign that produced buildings that formally enclosed Nolan Park.

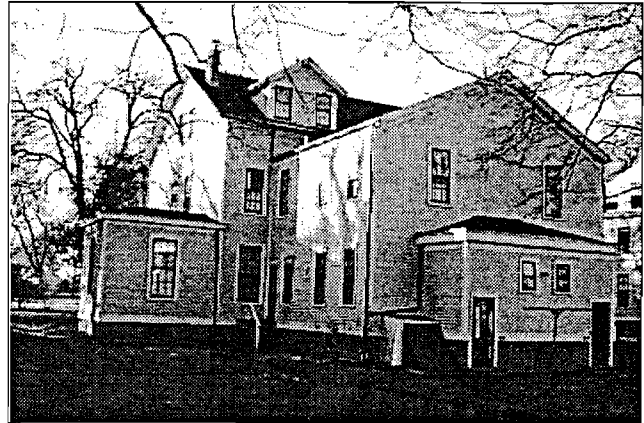
**SIGNIFICANCE**

Building #6 is a Category 2 property.





*Side Elevation*



*Rear Elevation*

Building #6 was part of the building campaign associated with the Island's becoming an important military headquarters, and as a part of a rational attempt to create a residential enclave around Nolan Park.

#### WHAT IS IMPORTANT TO PRESERVE?

The exterior of Building #6 has retained much of its material and appearance. It retains its original siding materials, and the large front porches date back to the nineteenth century, although the railings appear to be of recent vintage. The additions to either side are of a scale and age such that they do not detract from the integrity of the building.

Exterior elements of the building that should be preserved include the basic building form, scale, and materials; its setting and orientation to Nolan Park; cornice & trim; front and rear porches; wood multi-paned windows; and, french doors.

There are no interior elements that require preserved.

#### KEY PRESERVATION ISSUES

The scale and siting of Building #6 are the most critical preservation issues. As part of the east wall of Nolan Park, its presence and compatibility with adjacent structures is important in maintaining the character of the Park and historic district.

#### LANDSCAPE & SITE FEATURES

Building #6 is surrounded by sloped brick and slate walkways and driveways. Mature trees are located around the building. Preservation of the landscaping and site features is important.

For further information on landscape features related to this building, see the property summary sheet for Nolan Park.

**BUILDING #7**  
**COMPANY OFFICER'S QUARTERS**



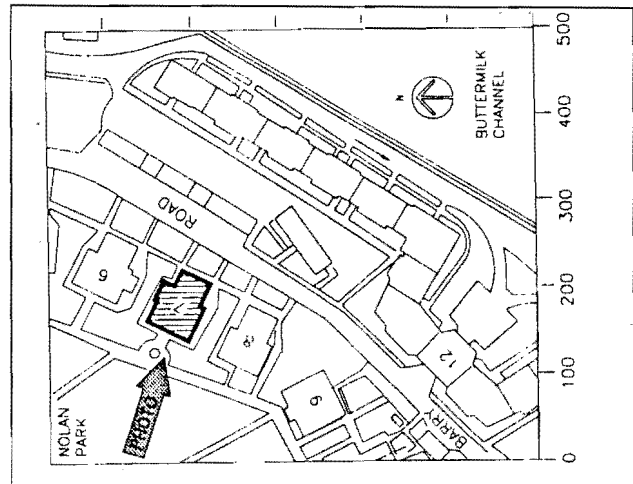
*Front Elevation*

**ARCHITECTURAL DESCRIPTION**

Building #7 is a two-and-a-half-story T-shaped twin (two-family) "Victorian Vernacular" Style house built of wood frame construction on painted brick foundation walls. Exterior clapboard walls rise to meet a board cornice at the eaves; the simple gable roof is covered in asphalt and punctured by two single and one double dormer on the front slope and two double dormers on the rear slope. The full-width front porch faces west; its shallow hipped roof is supported by heavy square posts connected by simple newels, railings and balusters. Aluminum storm windows protect the six-over-six double-hung wood windows. Paneled wood doors have glazed transoms and aluminum storm doors. One story structures have been added to both the north and south sides of the building. (The two sides of Building #7 have been commonly denoted as #7A and #7B. For the purposes of this Building Summary, it is considered one building).

**SITE LOCATION**

Building #7 is located alongside its twin, Building #6 and continues at a slight angle the wall of buildings that form the east side of Nolan Park. The angle reflects the change in the adjacent shoreline and



*Site Location Map*

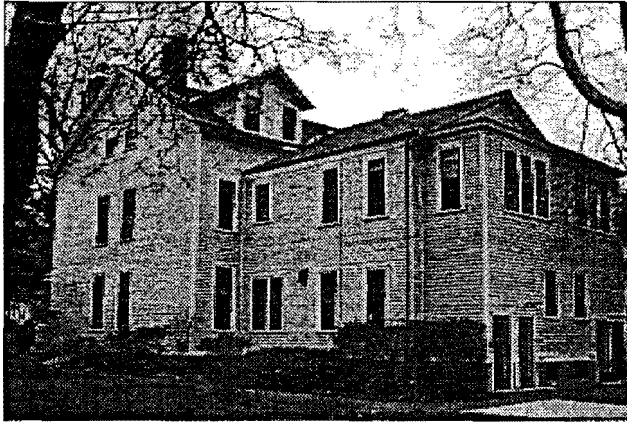
serves to connect the predominant building line with the front of Building #9, which was built in 1839. The siting of Building #7 was the result of the unified vision that created Nolan Park.

**HISTORIC DEVELOPMENT**

Built in 1878 as a double unit for Company Officer's Quarters, Building #7 was intended to accommodate the arrival of officers associated with Fort Columbus' becoming the Headquarters of the Military Division of the Atlantic and the Department of the East. Building #7 has retained its residential function and character, serving most recently as housing for Coast Guard officer's families. The south addition was built in the early 20th Century and the north side addition was added later. Asphalt shingles that were installed over clapboards in the 1950's were recently removed, and the enclosure of the front porch was reversed. Buildings #6 and #7 were built as a matched pair, and were a part of the building campaign that produced buildings that formally enclosed Nolan Park.

**SIGNIFICANCE**

Building #7 is a Category 2 property.



*Side Elevation*

Building #7 was part of the building campaign associated with the Island's becoming an important military headquarters, and as a part of a rational attempt to create a residential enclave around Nolan Park.

#### WHAT IS IMPORTANT TO PRESERVE?

The exterior of Building #7 has retained much of its material and appearance. It retains its original siding materials, and the large front porches date back to the nineteenth century, although the railings appear to be of recent vintage. The additions to either side are of a scale and age such that they do not detract from the building's integrity.

Exterior elements of the building that should be preserved include the basic building form, scale, and materials; its setting and orientation to Nolan Park; cornice & trim; front and rear porches; wood multi-paned windows; and, french doors.

There are no interior elements that require preserved.

#### KEY PRESERVATION ISSUES

The scale and siting of Building #7 are the most critical preservation issues. As part of the east wall of Nolan Park, its presence and compatibility with adjacent structures is important in maintaining the character of the Park and historic district.



*Rear Elevation*

#### LANDSCAPE & SITE FEATURES

Building #7 is surrounded by sloped brick and slate walkways and driveways. Mature trees are located around the building. Preservation of the landscaping and site features is important.

For further information on landscape features related to this building, see the property summary sheet for Nolan Park.

**BUILDING #8**  
**COMPANY OFFICER'S QUARTERS**



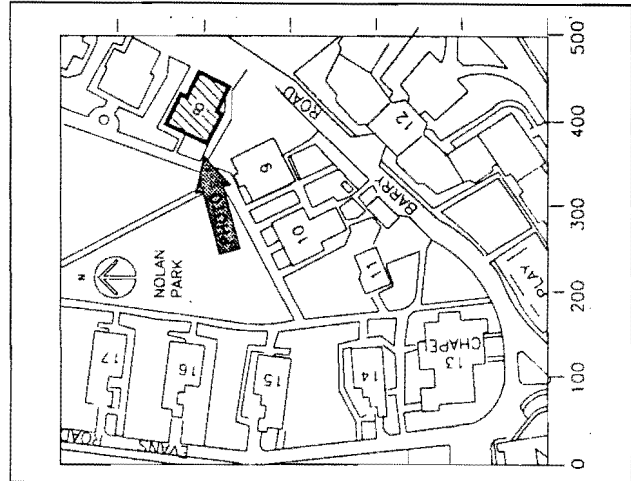
*Front Elevation*

**ARCHITECTURAL DESCRIPTION**

Building #8 is a two-and-a-half-story T-shaped twin (two-family) "Victorian Vernacular" Style house built of wood frame construction on painted brick foundation walls. Exterior clapboard walls rise to meet a slender boarded cornice at the eaves penetrated by gabled projections above the windows. The full-width front porch faces west; its shallow hipped roof is supported by heavy square posts connected by simple newels, railings and balusters. Aluminum storm windows protect the six-over-six double-hung wood windows. The paired paneled wood entrance doors have glazed transoms and aluminum storm doors. A one story den was added to the north side of the 'T', and enclosed sun porches were added to both units. (The two sides of Building #8 have been commonly denoted as #8A and #8B. For the purposes of this Building Summary, it is considered one building).

**SITE LOCATION**

Building #8 is aligned with Buildings #6 and #7 and separated from its twin Building #10 by the older Building #9. Building #8 continues at a slight angle the wall of buildings that form the east side of Nolan

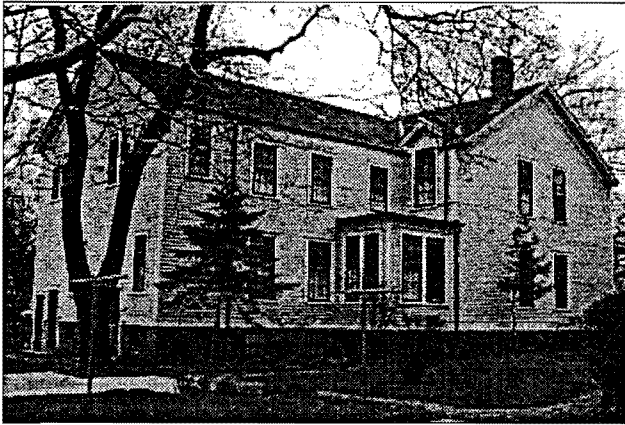


*Site Location Map*

Park, reflecting the change in the adjacent shoreline and connecting the predominant building line with the front of Building #9, which was built in 1839. The siting of Building #8 was the result of the unified vision that created Nolan Park.

**HISTORIC DEVELOPMENT**

Built in 1878 as a double unit for Company Officer's Quarters, Building #8 was intended to accommodate the arrival of officers associated with Fort Columbus' becoming the Headquarters of the Military Division of the Atlantic and the Department of the East. Building #8 was built with Building #10 as a matched pair; both were a part of the building campaign that also produced buildings that formally enclosed Nolan Park. Building #8 has retained its residential function and character, serving most recently as housing for Coast Guard officer's families. The north addition was built in the first two decades of the twentieth century, and sunrooms were added to the rear in 1936-37. Asphalt shingles installed over clapboards in the 1950's were recently removed, and the enclosure of the front porch was reversed.



*Side*

#### SIGNIFICANCE

Building #8 is a Category 2 property.

Building #8 was a part of the building campaign associated with the Island's becoming an important military headquarters, and as a part of a rational attempt to create a residential enclave around Nolan Park.

#### WHAT IS IMPORTANT TO PRESERVE?

The exterior of Building #8 retains most of its original exterior materials and appearance. These include the original siding materials, and the large front porches, which date back to the nineteenth century, although the railings appear to be of recent vintage. The addition on the north side and the sun rooms to the east are of a scale and age such that they do not detract from the building's integrity. The interior layout of unit #8B has been substantially altered.

Exterior elements that should be preserved include the basic form, scale, and materials of the building; the cornice and trim; front porch; multi-paned wood windows; front doors; and, dormers.

There are no interior elements that require preservation.

#### KEY PRESERVATION ISSUES

Building #8 is a contributing element to the Governors Island Historic District, and is important in defining the east edge of Nolan Park. As such, its preservation is important in maintaining the character of the historic district.

Because of its site location, additions to the building are discouraged, however, if necessary, they could occur on the north and south sides of the building, preserving the open spaces between Building #8 and the adjacent properties.

#### LANDSCAPE & SITE FEATURES

Building #8 is surrounded by sloped brick and slate walkways and driveways, and mature trees are located around the building. These elements contribute to the property and should be preserved.

For further information on landscape features related to this building, see the property summary sheet for Nolan Park.

**BUILDING #9  
BLOCK HOUSE**



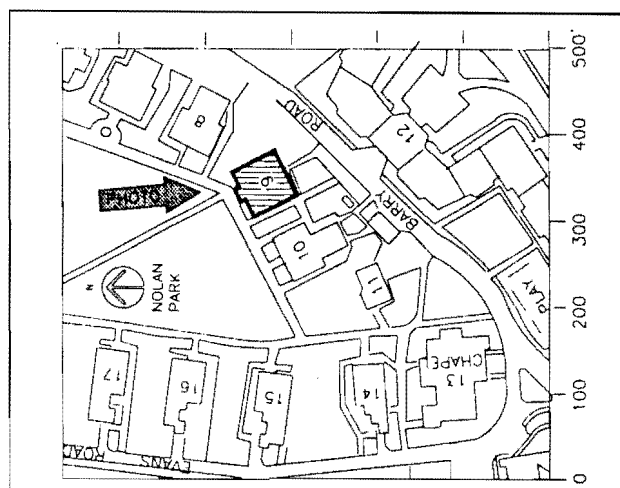
*Front Elevation*

**ARCHITECTURAL DESCRIPTION**

Building #9 is a red brick two-story "Greek Revival" Style structure set on a high basement of schist stone at the front and rear, and brick at the sides. A granite band course articulates the basement walls from the upper courses. Nearly a square in plan, the building was built in 1839 in the Greek revival style to serve as the Post Hospital. The main entrance steps and entrance portico are of granite. The entrance door is set a pedimented wood surround. Wood double-hung six-over-six windows are set in simple masonry openings with granite lintels and sills. The brick walls corbel slightly at the eaves, which feature wood dentils. The original parapet wall was removed before 1863 in order to replace the original flat roof with the present shallow hipped roof. An areaway surrounds the building, capped by a granite curb with a wrought and cast iron fence. A wrought iron balcony at the second floor front is echoed on the rear by a railing in front of the second story window, although the balcony itself has been removed. Large patient wings were added towards the south in 1874, but were removed later.

**SITE LOCATION**

Building #9, with its later neighbor Building #10, forms the southern end of Nolan Park, connecting informally the west and east sides. Building #9



*Site Location Map*

predated the development of Nolan Park, and was a factor in establishing its form and boundaries. The original siting of Building #9 was determined by the original shoreline.

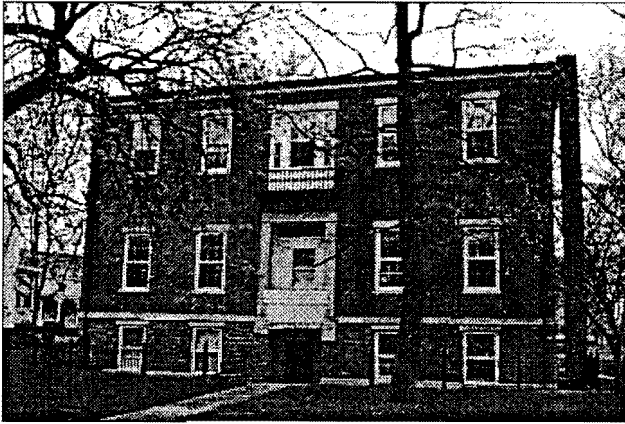
**HISTORIC DEVELOPMENT**

Sometimes known as the Block House, Building #9 has undergone substantial alterations. Built in 1839 as the Post Hospital for the Fort Columbus garrison, 1874 saw the construction of two substantial patient wings extending south from either side of the main facade. With the 1878 arrival of the Military Division of the Atlantic, the building was deemed unsuitable as a hospital and was converted to Headquarters for the Division, as well as the Department of the East. Sometime between 1919 and 1934, the wings were demolished and, by at least 1947, the original building had been converted to apartments for four officers.

**SIGNIFICANCE**

Building #9 is a Category 1 property.

Building #9 is highly significant to the history of Governors Island. It is individually listed on the National Register of Historic Places and was designated an individual New York City Landmark on September 19, 1967. Building #9 is the one of the



Rear elevation



Side Elevation

oldest non-fortified buildings within the Governors Island Historic District, and its location and history of uses attest to the changing function of the island from its earliest military occupation.

### WHAT IS IMPORTANT TO PRESERVE?

The exterior of Building #9 has a great deal of historic material from different times. Many of the alterations to the exterior are old enough to be considered historic elements of their own, and help to explain the history of uses. The interior has been altered many times, most recently during the 1930's.

Exterior elements of the building that should be preserved include the current form and scale of the building, and its stone and brick basement walls, brick walls, limestone window sills and heads, and granite belt course. In addition, the front steps and portico, front and rear door surround, wood windows, wood cornice with dentils, ironwork at the balconies, and areaway with curb and fencing.

Because of extensive and numerous remodelings of the building, there are no interiors that should be preserved.

### KEY PRESERVATION ISSUES

The siting and form of Building #9 are important to preserve, as well as the many historic changes to the building that reflect its different uses and history.

Because of the prominent location of Building #9, additions to the building are discouraged.

### LANDSCAPE & SITE FEATURES

Building #9 is surrounded by sloped brick and slate walkways and driveways, and mature trees around the building. These are important elements to preserve.

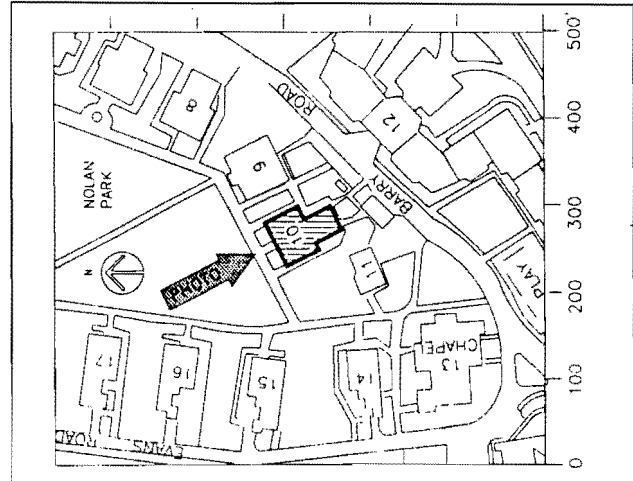
For further information on landscape features related to this building, see the property summary sheet for Nolan Park.



**BUILDING #10**  
**COMPANY OFFICER'S QUARTERS**



*Front Elevation*



*Site Location Map*

**ARCHITECTURAL DESCRIPTION**

Building #10 is a two-and-a-half-story T-shaped twin (two-family) "Victorian Vernacular" Style house built of wood frame construction on painted brick foundation walls. Exterior clapboard walls rise to meet a slender boarded cornice at the eaves penetrated by gabled projections above the windows. The full-width front porch faces west; its shallow hipped roof is supported by heavy square posts connected by simple newels, railings and balusters. Aluminum storm windows protect the six-over-six double-hung wood windows. The paired paneled wood entrance doors have glazed transoms and aluminum storm doors. A one story den was added to the north side of the 'T', and enclosed sun porches were added to both units. (The two sides of Building #10 have been commonly denoted as #10A and #10B. For the purposes of this Building Summary, it is considered one building).

**SITE LOCATION**

Building 10 is aligned with Building 9, and together they form the southern end of Nolan Park, connecting informally the west side to the east side.

The siting of Building 10 was the result of the unified vision that created Nolan Park

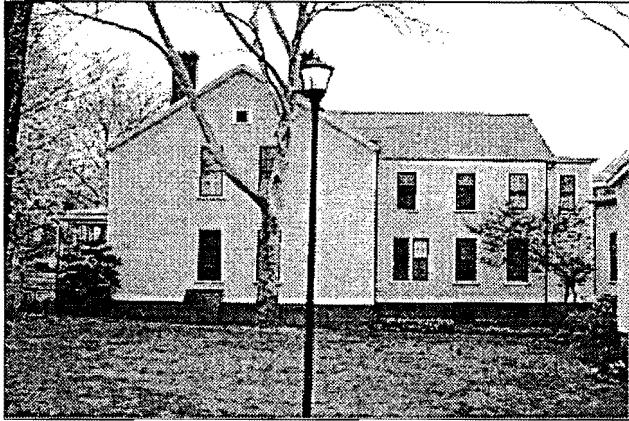
**HISTORIC DEVELOPMENT**

Built in 1878 as a double unit for Company Officer's Quarters, Building #8 was intended to accommodate the arrival of officers associated with Fort Columbus' becoming the Headquarters of the Military Division of the Atlantic and the Department of the East. Building #10 was built with Building #8 as a matched pair; both were a part of the building campaign that also produced buildings that formally enclosed Nolan Park. Building #10 has retained its residential function and character, serving most recently as housing for Coast Guard officer's families. The north addition was built in the first two decades of the twentieth century, and sunrooms were added to the rear in 1936-37. Asphalt shingles installed over clapboards in the 1950's were recently removed, and the enclosure of the front porch was reversed.

**SIGNIFICANCE**

Building #10 is a Category 2 property.

Building #10 was a part of the building campaign associated with the Island's becoming an important military headquarters, and as a part of a rational attempt to create a residential enclave around Nolan Park.



*Side Elevation*

#### WHAT IS IMPORTANT TO PRESERVE?

The exterior of Building #10 retains most of its original exterior materials and appearance. These include the original siding materials, and the large front porches, which date back to the nineteenth century, although the railings appear to be of recent vintage. The addition on the north side and the sun rooms to the east are of a scale and age such that they do not detract from the building's integrity. The interior layout of both living units has been substantially altered.

Exterior elements that should be preserved include the basic form, scale, and materials of the building; the cornice and trim; front porch; multi-paned wood windows; front doors; and, dormers.

There are no interior elements that require preservation.

#### KEY PRESERVATION ISSUES

Building #10 is a contributing element to the Governors Island Historic District, and is important in defining the east edge of Nolan Park. As such, its preservation is important in maintaining the character of the historic district.



*Rear*

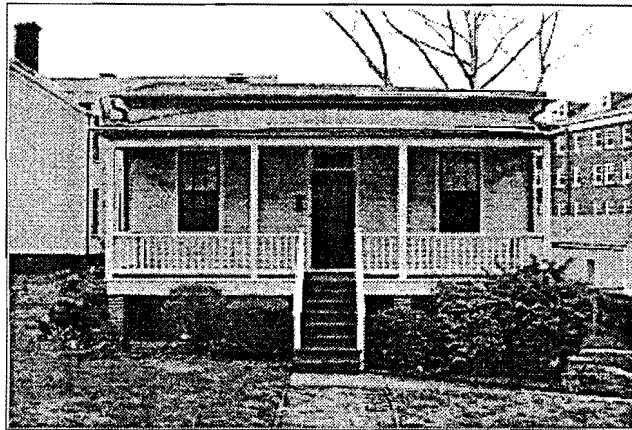
Because of its siting, additions to the building are discouraged, however, if necessary, they could occur on the north and south sides of the building, preserving the open spaces between Building #10 and the adjacent properties.

#### LANDSCAPE & SITE FEATURES

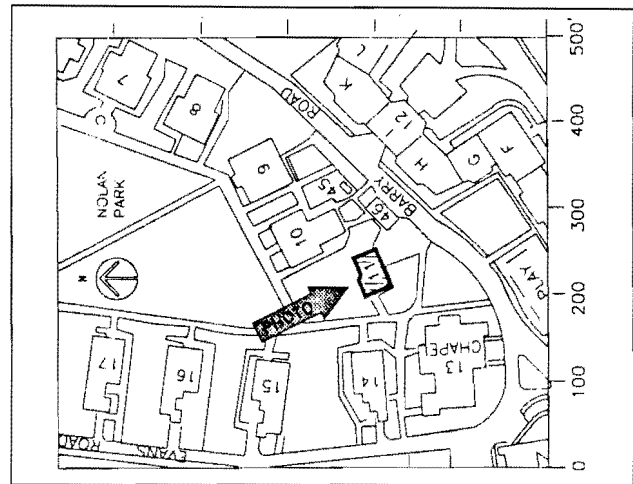
Building #10 is surrounded by sloped brick and slate walkways and driveways, and mature trees are located around the building. These elements contribute to the property and should be preserved.

For further information on landscape features related to this building, see the property summary sheet for Nolan Park.

**BUILDING #11**  
**STEWARD'S QUARTERS**



*Front Elevation*



*Site Location Map*

**ARCHITECTURAL DESCRIPTION**

Building #11 is a small, single-family, one-story, wood frame house set on a high brick basement. This vernacular style building has with wood tongue-and-groove siding, and a low gabled roof covered with asphalt shingles. A full width porch with simple posts and railings and a shallow hipped roof runs along the north front facade of the structure. Aluminum storm windows protect the six-over-six double-hung wood windows. The front door is glazed and paneled, with a transom above. A small one story frame addition to the north has a gabled roof. Non-historic asbestos shingles have been removed and wood clapboards have been restored.

**SITE LOCATION**

Building #11 is located at the southern periphery of Nolan Park, adjacent to Building 10, and southeast of the original hospital, Building #9.

**HISTORIC DEVELOPMENT**

Built in 1878 as quarters for the hospital steward, Building #11's construction was simultaneous with the arrival of officers associated with Fort

Columbus' becoming the Headquarters of the Military Division of the Atlantic and the Department of the East, and was a part of the building campaign that also produced buildings that formally enclosed Nolan Park. Interestingly enough, Building #11 was sited in 1878 to be close to the hospital, but the hospital was relocated a year later in 1879.

**SIGNIFICANCE**

Building #11 is a Category 2 property.

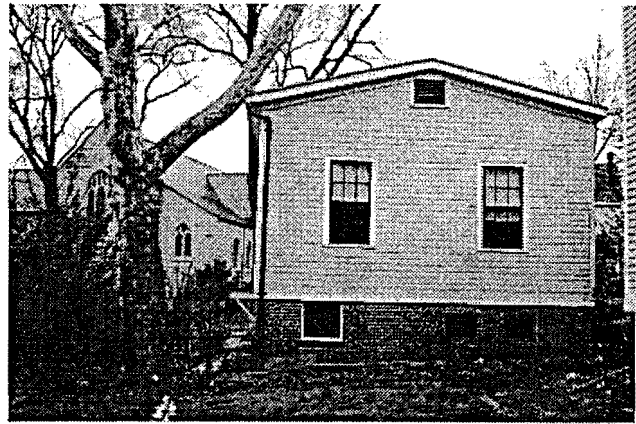
Building #11 is small and somewhat isolated, reflecting the fact that while the steward needed to be quartered near the hospital, his status did not warrant the prominence of the structures on Nolan Park. It form the southern closure of Nolan Park, and is an integral part of the historic development of the Island.

**WHAT IS IMPORTANT TO PRESERVE?**

The exterior of Building #11 has a great deal of its original exterior materials and appearance. It retains its original siding materials, and the large front porch date back to the 19th century. The interior of the building appears to have been substantially rehabilitated in the 1930's.



*Side Elevation*



*Rear*

Exterior elements of the building that should be preserved include the basic building form, scale and materials; wood siding, brick basement walls; eaves; front porch; wood windows; and front door.

There are no interior elements requiring preservation.

#### **KEY PRESERVATION ISSUES**

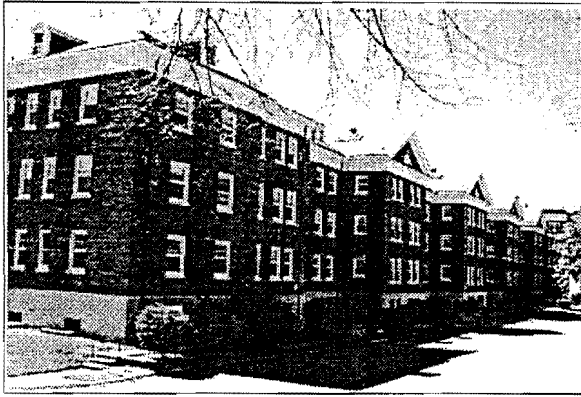
The small scale of Building #11 is important in conveying its original use and status within the development of Governors Island. Although it is not a prominent building within the historic district, its closure of the southern end of Nolan Park is important to preserve.

Any additions to the building should avoid changing the feeling of small scale of the property, and should be limited to the south side of the structure.

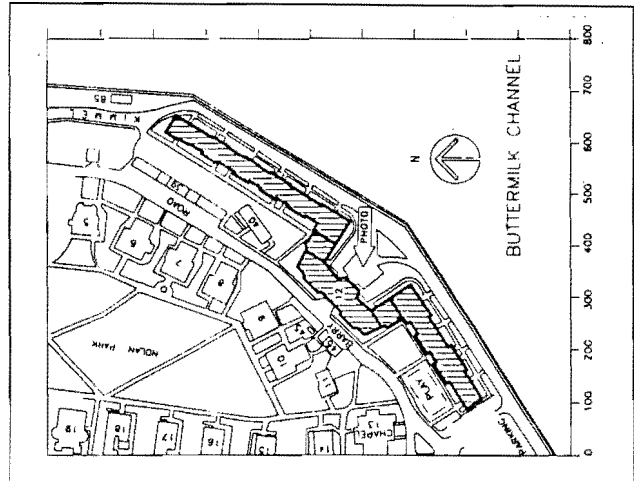
#### **LANDSCAPE AND SITE FEATURES**

Building #11 faces Nolan Park and is accessed from a brick walkway. This walkway, along with the mature trees surrounding the structure, are important to the setting of the building and should be preserved.

**BUILDING #12  
OFFICERS' HOUSING**



*Front Elevation*



*Site Location Map*

**ARCHITECTURAL DESCRIPTION**

Building #12 is a four and one-half-story Neo-Georgian style building composed of fifteen sections, with a total of 93,000 SF, located on a land-fill site overlooking Buttermilk Channel. The central portion of the building forms a large U-shaped courtyard facing the water. This 14-family housing unit is built of red brick masonry over cement foundation and a limestone watertable. The gable roof is covered with slate shingles. Fenestration consists of six-over-six double-hung metal windows with metal frames, limestone window sills, and wood paneled doors. Separate entrances, serving each of the 14 family housing units, face south towards the channel and have decorative limestone door surrounds.

**SITE LOCATION**

Building #12 is located along the south (leeward) shore between Barry and Kimmel Roads, below Nolan Park. The leeward shore area extends along the shore from the South Battery north to Andes Drive. This area has one of the steepest slopes on the island. It is sheltered from the prevailing winds and faces a relatively placid water view of Buttermilk Channel.

**HISTORIC DEVELOPMENT**

Built in 1931 by the Army's Construction Division of the Office of the Quartermaster General, Building #12 was designed by the prominent New York architectural firm of McKim, Mead & White. It served as officer's quarters and family housing from 1931 to 1997.

**SIGNIFICANCE**

Building #12 is a Category 2 property.

This structure was the first housing for officers constructed in accordance with the c.1928 unified beautification plan for Governors Island, which was also developed by McKim, Mead & White. It is similar in style to Building #400, and set a standard for later officer's housing, notably Buildings #315 and #555.

**WHAT IS IMPORTANT TO PRESERVE?**

The exterior of Building #12 has retained most of its original masonry material and appearance. All of the original window units have been replaced by six-over-six double-hung aluminum windows.

## *Governors Island Historic District*



*Setting*

Exterior elements of the building that should be preserved include the basic form, scale, and configuration of the structure; exterior materials; cornices; dormers; fenestration; limestone door surrounds; and, paneled doors

There are no interior elements requiring preservation.

### **KEY PRESERVATION ISSUES**

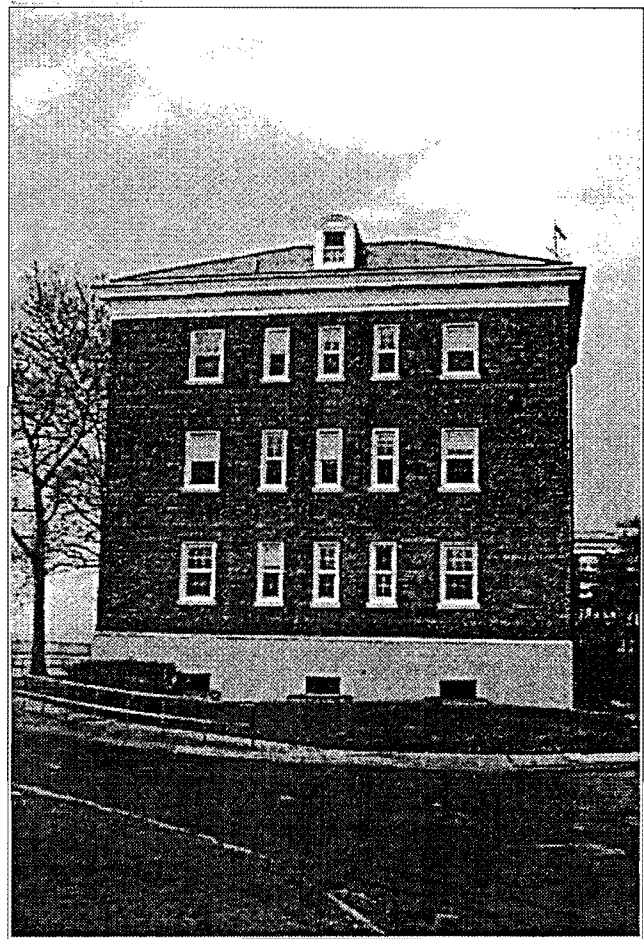
The unique form of Building #12, along with the open courtyard facing Buttermilk Channel, and the exterior detailing of the building are important preservation issues.

Building #12 has no secondary facades. Its southeast facade presents a formal view to Buttermilk Channel, while the northwest facade is visible from Barry Road and Nolan Park. Because of this there are no apparent locations where additions can be placed on the building.

### **LANDSCAPE & SITE FEATURES**

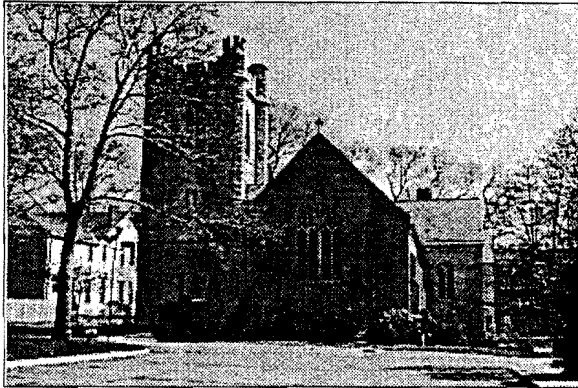
Building 12 is surrounded by concrete and asphalt paving, which can be removed or modified. Mature trees are located within grassy plots around the building, which should be preserved.

For further information on landscape features, see the property summary sheet on the seawall.

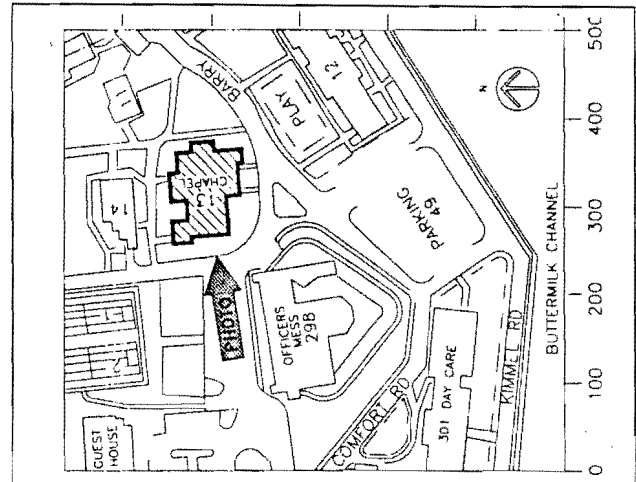


*Side Elevation*

**BUILDING #13**  
**CHAPEL OF S<sup>t</sup>. CORNELIUS**



*Front Elevation*



*Site Location Map*

**ARCHITECTURAL DESCRIPTION**

Building #13 is a two-story church on a raised basement. Walls are rock-face limestone laid in regular coursing. Built in 1905 in the neo-Gothic style, the building is roughly cruciform in plan with a substantial three-story tower at the northwest corner providing the primary entrance. Steep intersecting gables are covered with slate with copper gutters, ridges, and flashing. Most windows are lancet arched with ornamental carved limestone tracery; 35 leaded and stained glass sash are covered with protective glazing. The raised basement most recently contained church offices and a day care facility.

**SITE LOCATION**

The Chapel of S<sup>t</sup>. Cornelius is located just off Nolan Park. It faces away from Nolan Park, suggesting that its architect was aware that the island was on the verge of growth and development towards the south. It's presence established the location of a group of 'community' amenities that were built in the early twentieth century including the school, the YMCA, and the theater, and that were intended to serve what was developing as a military island community.

**HISTORIC DEVELOPMENT**

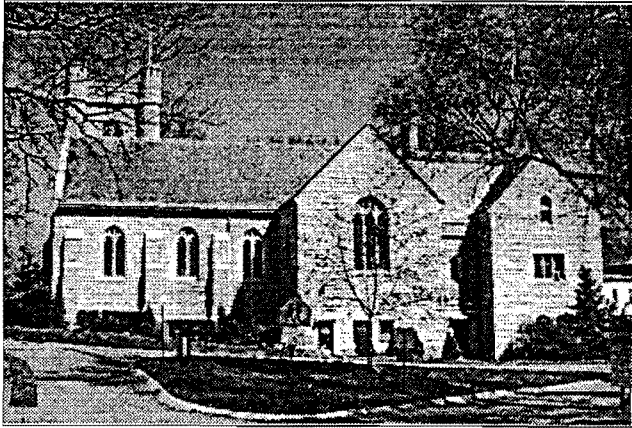
The architect Charles C. Haight designed Building #13, better known as the Chapel of S<sup>t</sup>. Cornelius the Centurion, to replace an earlier 1847 wood frame chapel. Trinity Parish in Manhattan was substantial donors for the construction of the first Chapel. When the Army ceased providing Chaplains to Governors Island in 1868, Trinity Church began providing a Chaplain and provided for the maintenance of the building. When the post was expanded in 1924, the Army resumed assigning Chaplains to the Island, but Trinity continued to maintain the building. The Coast Guard took over administration of the Chapel when it arrived in 1966; the Parish of Trinity Church deeded the property to the Coast Guard in 1986, with the stipulation that the property will revert to Trinity when the Coast Guard vacates the island. The Chapel traditionally was a repository for memorabilia commemorating troops stationed on Governors Island.

**SIGNIFICANCE**

Building #13 is a Category 2 property.

The Chapel of S<sup>t</sup>. Cornelius connected together the spiritual and community lives of the inhabitants of the island. It also has historic ties to a civilian parish in Manhattan.





*Rear Elevation*

#### WHAT IS IMPORTANT TO PRESERVE?

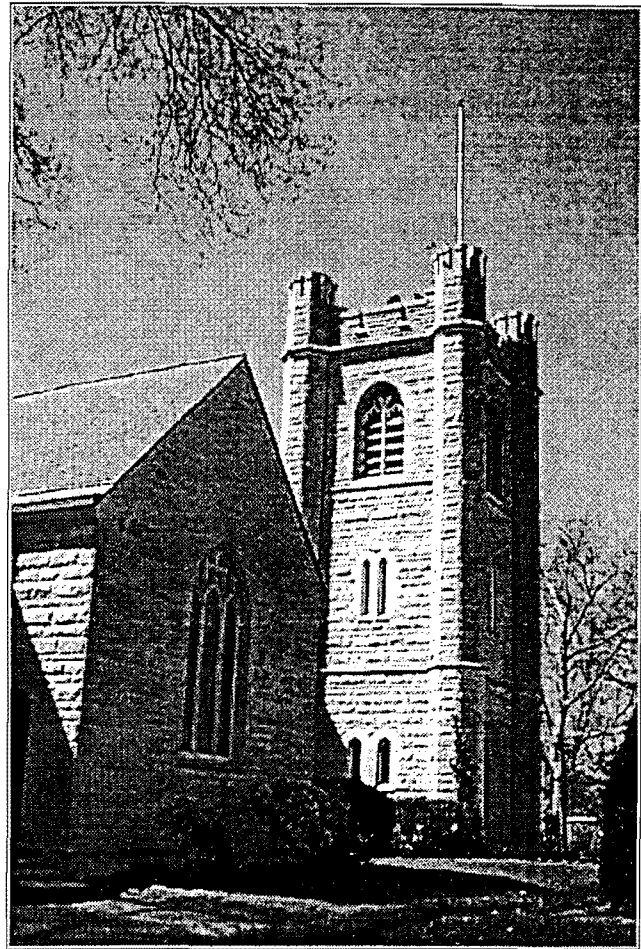
The exterior of the building retains most of its original exterior materials and appearance. The building has not seen much major alteration, and has been well maintained. The Chapel space also has a relatively high level of integrity, but the basement spaces have been altered to accommodate contemporary uses.

Exterior elements of the building that should be preserved include the original form, scale, and style of the Chapel; masonry facades; leaded and stained glass windows; front and side entry doors and surrounds; and, roofing.

Interior elements that should be preserved include the exposed wood trusses and ceiling; stone archways and corbels; baptismal font; stone altar and door surrounds; decorative tile floor; glazed ceramic tile; paneled wood doors; and, trim.

#### KEY PRESERVATION ISSUES

The symbolic presence of the Chapel is an important element in the Governors Island Historic District. Its location within the residential core of the Island demonstrates the "community" quality developed on the Island as it evolved from a fortification to an installation. While there is a great deal of flexibility in rehabilitating the basement, the Chapel should be treated very gently. Deteriorated fabric should be repaired, rather than replaced, and all necessary replacement should be done in-kind.



*Tower*

Building #13 is a prominent historic and community landmark with a strong architectural presence. New construction or additions affecting the exterior are discouraged, but, if necessary, should be located on secondary facades, and be clearly minor in scale.

#### LANDSCAPE & SITE FEATURES

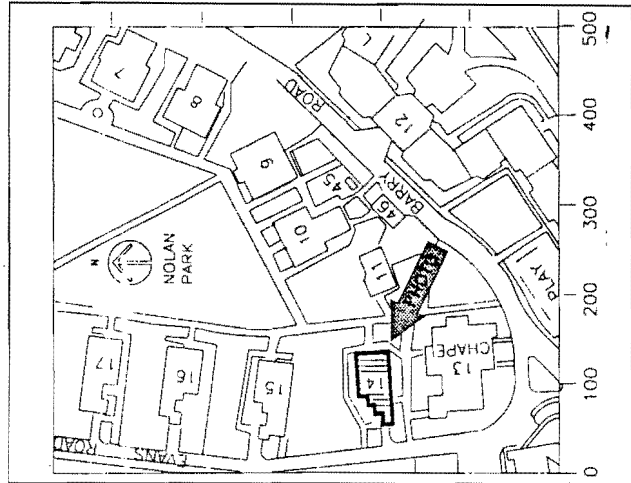
Building #13 is bordered by asphalt paving to the south and west and is surrounded by small grassy areas. The paved areas can be removed and replaced. Any mature landscaping should be preserved.

The Chapel of St. Cornelius is owned by, and under the control of Trinity Church in New York. It is not available for development or modification by any party, organization, or group other than Trinity Church. Data included on this property in the Preservation & Design Manual is provide for information purposes only. No development should encroach on the Chapel property, or restrict access to the property or its use.

**BUILDING #14**  
**COMPANY OFFICER'S QUARTERS**



*Front Elevation*



*Site Location Map*

**ARCHITECTURAL DESCRIPTION**

Building #14 is a two-story, "Victorian Vernacular" style, single-family house built of wood frame construction on brick foundation walls. Exterior clapboard walls rise to meet a slender boarded cornice at the bracketed eaves, which are penetrated by gabled projections above the windows. The full-width front porch faces east; its soffit is articulated with scrollwork brackets extending away from the column capitals, and its railing features decorative balusters. Aluminum storm windows protect the six-over-six double-hung wood windows. The paneled wood entrance door has a glazed transom and an aluminum storm door. Building #14 is L-shaped in plan, with a screened in porch to the rear. The building was originally constructed to a standardized plan identical to buildings #15, #16, #17, and #18.

**SITE LOCATION**

Building #14 is sited to form a part of the enclosure of Nolan Park, but also to align with the adjacent shoreline at the time of construction.

**HISTORIC DEVELOPMENT**

Built in 1879 for Company Officer's Quarters, Building #14 was intended to accommodate the arrival of officers associated with Fort Columbus' becoming the Headquarters of the Military Division of the Atlantic and the Department of the East. Building #14, along with #s15-18, formally enclosed Nolan Park, establishing it as the island's premiere residential enclave. Building #14 has retained its residential function and character, serving most recently as housing for Coast Guard officer's families. Asphalt shingles installed over clapboards in the 1950's were recently removed, and the enclosure of the front porch was reversed.

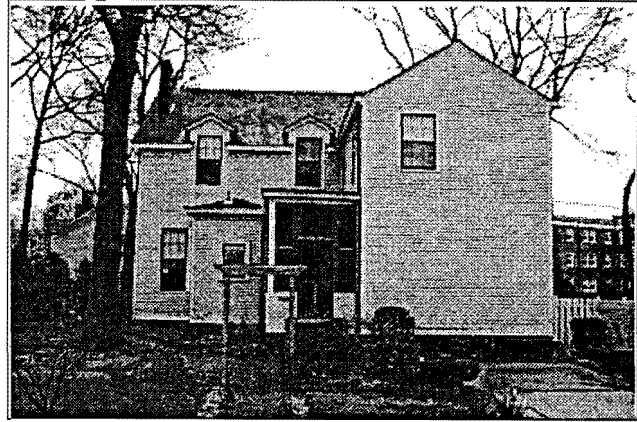
**SIGNIFICANCE**

Building #14 is a Category 2 property.

The building was a part of the building campaign associated with the Island's becoming an important military headquarters, and as a part of an effort to create a residential enclave around Nolan Park.



*Side Elevation*



*Rear Elevation*

#### WHAT IS IMPORTANT TO PRESERVE?

The exterior of Building #14 has kept most of its original materials and appearance. It retains its original siding, and the large front porch dates back to the nineteenth century, although the railings appear to be of recent vintage. The sun rooms are of a scale and age such that they do not detract from the building's integrity. However, the interior of the building has been substantially altered.

Exterior elements of the building that should be preserved include its basic form and scale; clapboard siding; brick basement walls; eaves, front porch, with decorative brackets and balusters; multi-paned wood windows; front door and trim; dormers; and, chimneys.

There are no interior elements that require preservation.

#### KEY PRESERVATION ISSUES

The relationship and association of the building with Nolan Park and the residential structures constructed along the west side of the Park, is an significant element in the Governors Island Historic District. Maintenance of the orientation of this building to the Park is important.

New construction or additions to the building should not be placed on the front facade. Additions should be limited to the west facade of the building, or the rear portions of the north and south facades.

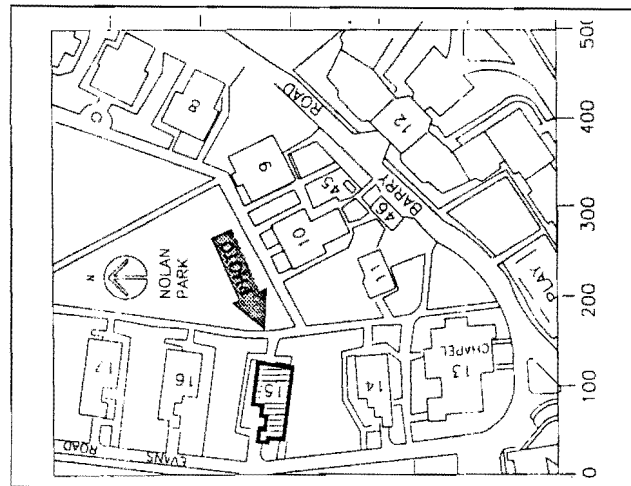
#### LANDSCAPE AND SITE FEATURES

Building #14 faces Nolan Park and is surrounded by sloped brick walkways and driveways, and mature trees are located around the building. These are important elements to preserve.

**BUILDING #15**  
**COMPANY OFFICER'S QUARTERS**



*Front Elevation*



*Site Location Map*

**ARCHITECTURAL DESCRIPTION**

Building #15 is a two-story, "Victorian Vernacular" style, single-family house built of wood frame construction on brick foundation walls. Exterior clapboard walls rise to meet a slender boarded cornice at the bracketed eaves, which are penetrated by gabled projections above the windows. The full-width front porch faces east; its soffit is articulated with scrollwork brackets extending away from the column capitals, and its railing features decorative balusters. Aluminum storm windows protect the six-over-six double-hung wood windows. The paneled wood entrance door has a glazed transom and an aluminum storm door. Building #15 is L-shaped in plan, with a screened in porch to the rear. The building was originally constructed to a standardized plan identical to buildings #14, #16, #17, and #18.

**SITE LOCATION**

Building #15 is aligned with Buildings #16-18, forming the west side of Nolan Park. To the west the building fronts the parade ground and Fort Jay.

**HISTORIC DEVELOPMENT**

Built in 1879 for Company Officer's Quarters, Building #15 was intended to accommodate the arrival of officers associated with Fort Columbus becoming the Headquarters of the Military Division of the Atlantic and the Department of the East. Building #15, along with #14 and #s16-18, formally enclosed Nolan Park, establishing it as the Island's premiere residential enclave. Building #15 has retained its residential function and character, serving most recently as housing for Coast Guard officer's families. Asphalt shingles installed over clapboards in the 1950's were recently removed, and the enclosure of the front porch was reversed.

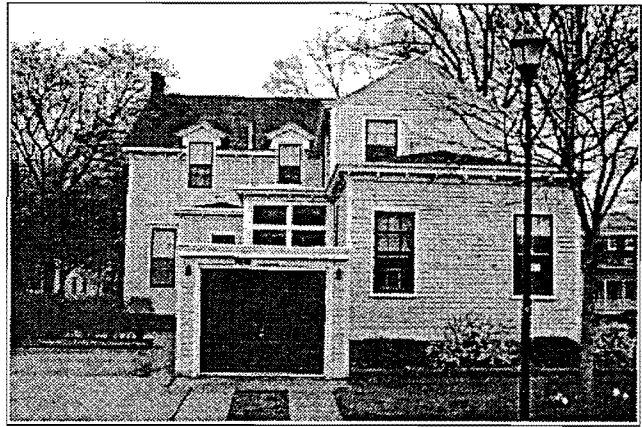
**SIGNIFICANCE**

Building #15 is a Category 2 property.

The building was a part of the building campaign associated with the Island's becoming an important military headquarters, and as a part of an effort to create a residential enclave around Nolan Park.



*Side Elevation*



*Rear Elevation*

#### WHAT IS IMPORTANT TO PRESERVE?

The exterior of Building #15 has kept most of its original materials and appearance. It retains its original siding, and the large front porch dates back to the nineteenth century, although the railings appear to be of recent vintage. The sun rooms are of a scale and age such that they do not detract from the building's integrity. However, the interior of the building has been substantially altered.

Exterior elements of the building that should be preserved include its basic form and scale; clapboard siding; brick basement walls; eaves, front porch, with decorative brackets and balusters; multi-paned wood windows; front door and trim; dormers; and, chimneys.

There are no interior elements that require preservation.

#### KEY PRESERVATION ISSUES

The relationship and association of the building with Nolan Park and the residential structures constructed along the west side of the Park, is an significant element in the Governors Island Historic District. Maintenance of the orientation of this building to the Park is important.

New construction or additions to the building should not be placed on the front facade. Additions should be limited to the west facade of the building, or the rear portions of the north and south facades.

#### LANDSCAPE AND SITE FEATURES

Building #15 faces Nolan Park and is surrounded by sloped brick walkways and driveways, and mature trees are located around the building. These are important elements to preserve.

**BUILDING #16**  
**COMPANY OFFICER'S QUARTERS**



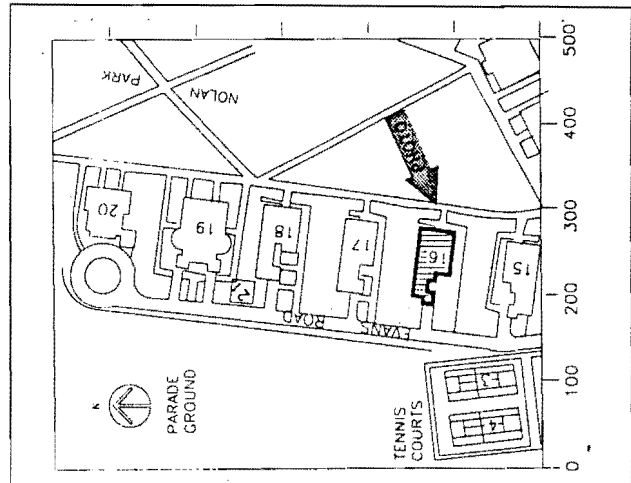
*Front Elevation*

**ARCHITECTURAL DESCRIPTION**

Building #16 is a two-story, "Victorian Vernacular" style, single-family house built of wood frame construction on brick foundation walls. Exterior clapboard walls rise to meet a slender boarded cornice at the bracketed eaves, which are penetrated by gabled projections above the windows. The full-width front porch faces east; its soffit is articulated with scrollwork brackets extending away from the column capitals, and its railing features decorative balusters. Aluminum storm windows protect the six-over-six double-hung wood windows. The paneled wood entrance door has a glazed transom and an aluminum storm door. Building #16 is L-shaped in plan, with a screened in porch to the rear. The building was originally constructed to a standardized plan identical to buildings #14, #15, #17, and #18.

**SITE LOCATION**

Building #16 is aligned with Buildings #s14-15, and #s17-18, forming the west side of Nolan Park. To the west the building fronts the parade ground and Fort Jay.



*Site Location Map*

**HISTORIC DEVELOPMENT**

Built in 1879 for Company Officer's Quarters, Building #16 was intended to accommodate the arrival of officers associated with Fort Columbus becoming the Headquarters of the Military Division of the Atlantic and the Department of the East. Building #16, along with #s14 and 15 and #s17 and 18, formally enclosed Nolan Park, establishing it as the Island's premiere residential enclave. Building #16 has retained its residential function and character, serving most recently as housing for Coast Guard officer's families. Asphalt shingles installed over clapboards in the 1950's were recently removed, and the enclosure of the front porch was reversed.

**SIGNIFICANCE**

Building #16 is a Category 2 property.

The building was a part of the building campaign associated with the Island's becoming an important military headquarters, and as a part of an effort to create a residential enclave around Nolan Park.





*SSide Elevation*

#### WHAT IS IMPORTANT TO PRESERVE?

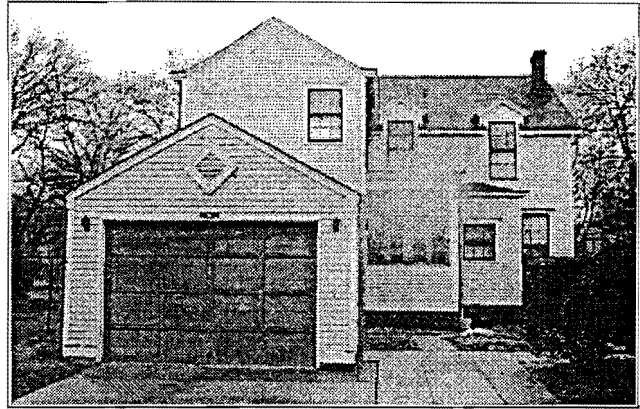
The exterior of Building #16 has kept most of its original materials and appearance. It retains its original siding, and the large front porch dates back to the nineteenth century, although the railings appear to be of recent vintage. The sun rooms are of a scale and age such that they do not detract from the building's integrity. However, the interior of the building has been substantially altered.

Exterior elements of the building that should be preserved include its basic form and scale; clapboard siding; brick basement walls; eaves, front porch, with decorative brackets and balusters; multi-paned wood windows; front door and trim; dormers; and, chimneys.

There are no interior elements that require preservation.

#### KEY PRESERVATION ISSUES

The relationship and association of the building with Nolan Park and the residential structures constructed along the west side of the Park, is an significant element in the Governors Island Historic District. Maintenance of the orientation of this building to the Park is important.



*Rear Elevation*

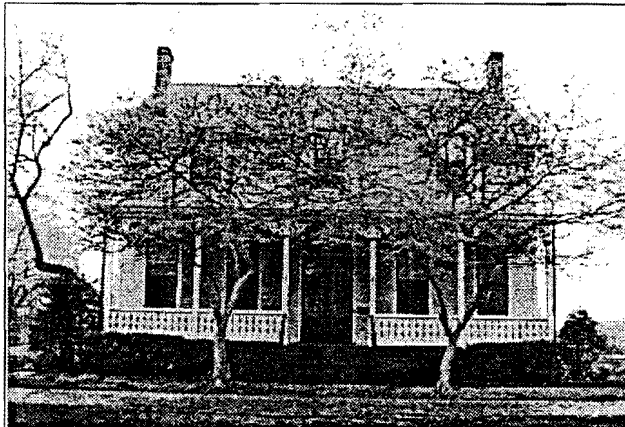
New construction or additions to the building should not be placed on the front facade. Additions should be limited to the west facade of the building, or the rear portions of the north and south facades.

#### LANDSCAPE AND SITE FEATURES

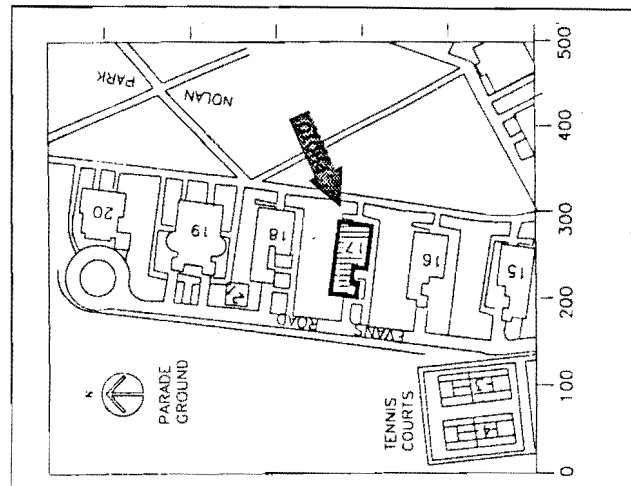
Building #16 faces Nolan Park and is surrounded by sloped brick walkways and driveways, and mature trees are located around the building. These are important elements to preserve.



**BUILDING #17**  
**COMPANY OFFICER'S QUARTERS**



*Front Elevation*



*Site Location Map*

**ARCHITECTURAL DESCRIPTION**

Building #17 is a two-story, "Victorian Vernacular" style, single-family house built of wood frame construction on brick foundation walls. Exterior clapboard walls rise to meet a slender boarded cornice at the bracketed eaves, which are penetrated by gabled projections above the windows. The full-width front porch faces east; its soffit is articulated with scrollwork brackets extending away from the column capitals, and its railing features decorative balusters. Aluminum storm windows protect the six-over-six double-hung wood windows. The paneled wood entrance door has a glazed transom and an aluminum storm door. Building #17 is L-shaped in plan, with a screened in porch to the rear. The building was originally constructed to a standardized plan identical to buildings #14, #15, #16, and #18.

**SITE LOCATION**

Building #17 is aligned with Buildings #15-16 and #18, forming the west side of Nolan Park. To the west the building fronts the parade ground and Fort Jay.

**HISTORIC DEVELOPMENT**

Built in 1879 for Company Officer's Quarters, Building #17 was intended to accommodate the arrival of officers associated with Fort Columbus becoming the Headquarters of the Military Division of the Atlantic and the Department of the East. Building #17, along with #s14-16, and #18, formally enclosed Nolan Park, establishing it as the Island's premiere residential enclave. Building #17 has retained its residential function and character, serving most recently as housing for Coast Guard officer's families. Asphalt shingles installed over clapboards in the 1950's were recently removed, and the enclosure of the front porch was reversed.

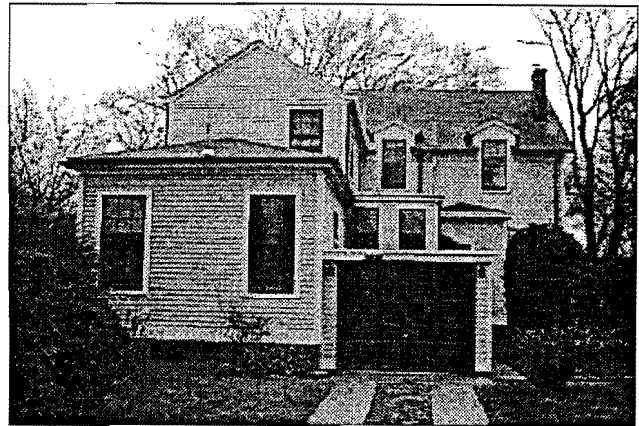
**SIGNIFICANCE**

Building #17 is a Category 2 property.

The building was a part of the building campaign associated with the Island's becoming an important military headquarters, and as a part of an effort to create a residential enclave around Nolan Park.



*Side Elevation*



*Rear Elevation*

#### WHAT IS IMPORTANT TO PRESERVE?

The exterior of Building #17 has kept most of its original materials and appearance. It retains its original siding, and the large front porch dates back to the nineteenth century, although the railings appear to be of recent vintage. The sun rooms are of a scale and age such that they do not detract from the building's integrity. However, the interior of the building has been substantially altered.

Exterior elements of the building that should be preserved include its basic form and scale; clapboard siding; brick basement walls; eaves, front porch, with decorative brackets and balusters; multi-paned wood windows; front door and trim; dormers; and, chimneys.

There are no interior elements that require preservation.

#### KEY PRESERVATION ISSUES

The relationship and association of the building with Nolan Park and the residential structures constructed along the west side of the Park, is an significant element in the Governors Island Historic District. Maintenance of the orientation of this building to the Park is important.

New construction or additions to the building should not be placed on the front facade. Additions should be limited to the west facade of the building, or the rear portions of the north and south facades.

#### LANDSCAPE AND SITE FEATURES

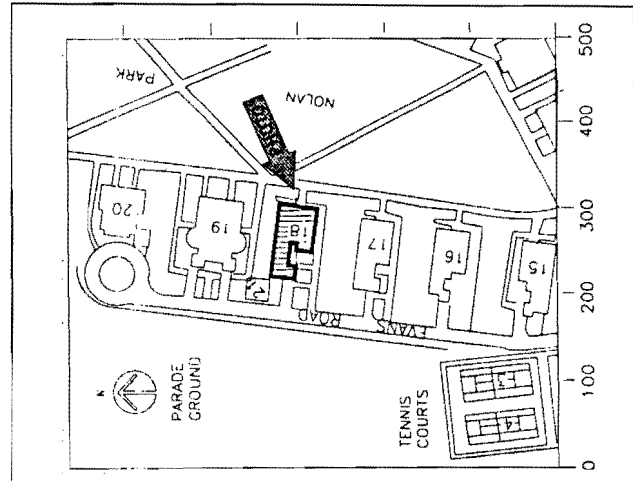
Building #17 faces Nolan Park and is surrounded by sloped brick walkways and driveways, and mature trees are located around the building. These are important elements to preserve.

**BUILDING #18  
COMPANY OFFICER'S QUARTERS***Front Elevation***ARCHITECTURAL DESCRIPTION**

Building #18 is a two-story, "Victorian Vernacular" style, single-family house built of wood frame construction on brick foundation walls. Exterior clapboard walls rise to meet a slender boarded cornice at the bracketed eaves, which are penetrated by gabled projections above the windows. The full-width front porch faces east; its soffit is articulated with scrollwork brackets extending away from the column capitals, and its railing features decorative balusters. Aluminum storm windows protect the six-over-six double-hung wood windows. The paneled wood entrance door has a glazed transom and an aluminum storm door. Building #18 is L-shaped in plan, with a screened in porch to the rear. The building was originally constructed to a standardized plan identical to buildings #14, #15, #16, and #17.

**SITE LOCATION**

Building #18 is aligned with Buildings #15-17, forming the west side of Nolan Park. To the west the building fronts the parade ground and Fort Jay.

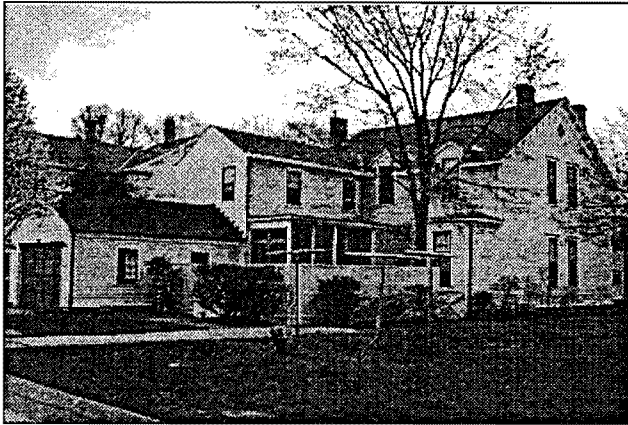
*Site Location Map***HISTORIC DEVELOPMENT**

Built in 1879 for Company Officer's Quarters, Building #18 was intended to accommodate the arrival of officers associated with Fort Columbus becoming the Headquarters of the Military Division of the Atlantic and the Department of the East. Building #18, along with #s14-17, formally enclosed Nolan Park, establishing it as the Island's premiere residential enclave. Building #18 has retained its residential function and character, serving most recently as housing for Coast Guard officer's families. Asphalt shingles installed over clapboards in the 1950's were recently removed, and the enclosure of the front porch was reversed.

**SIGNIFICANCE**

Building #18 is a Category 2 property.

The building was a part of the building campaign associated with the Island's becoming an important military headquarters, and as a part of an effort to create a residential enclave around Nolan Park.



*Side Elevation*

### WHAT IS IMPORTANT TO PRESERVE?

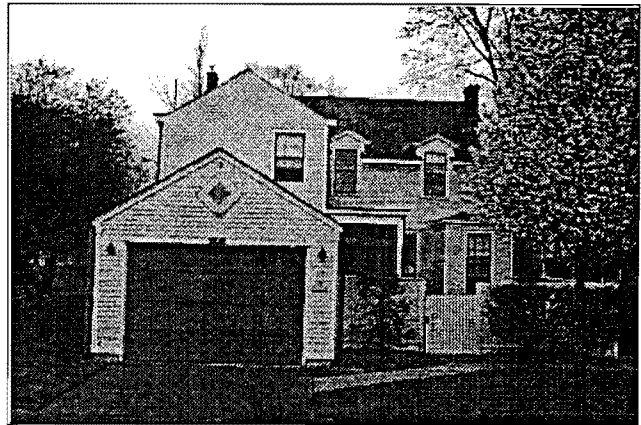
The exterior of Building #18 has kept most of its original materials and appearance. It retains its original siding, and the large front porch dates back to the nineteenth century, although the railings appear to be of recent vintage. The sun rooms are of a scale and age such that they do not detract from the building's integrity. However, the interior of the building has been substantially altered.

Exterior elements of the building that should be preserved include its basic form and scale; clapboard siding; brick basement walls; eaves, front porch, with decorative brackets and balusters; multi-paned wood windows; front door and trim; dormers; and, chimneys.

There are no interior elements that require preservation.

### KEY PRESERVATION ISSUES

The relationship and association of the building with Nolan Park and the residential structures constructed along the west side of the Park, is an significant element in the Governors Island Historic District. Maintenance of the orientation of this building to the Park is important.



*Rear Elevation*

New construction or additions to the building should not be placed on the front facade. Additions should be limited to the west facade of the building, or the rear portions of the north and south facades.

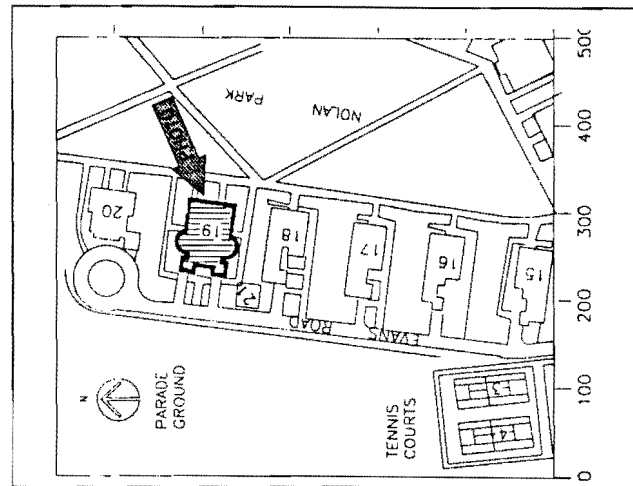
### LANDSCAPE & SITE FEATURES

Building #18 faces Nolan Park and is surrounded by sloped brick walkways and driveways, and mature trees are located around the building. These are important elements to preserve.

**BUILDING #19**  
**COMPANY OFFICER'S QUARTERS**



*Front Elevation*



*Site Location Map*

**ARCHITECTURAL DESCRIPTION**

Building #19 is a two-family, two-story-with-attic "Victorian Vernacular" style house built of wood frame construction on brick foundation walls. Exterior clapboard walls rise to meet a slender boarded cornice. Eaves, gables and cross gables are bracketed. Wrap around front porches flanking the projecting wing have square posts with decorative brackets supporting a bracketed soffit and a shallow hip roof; its railings feature decorative balusters. Side porches have been screened in. Aluminum storm windows protect the one-over-one double-hung wood windows. Paneled wood entrance doors are protected by aluminum storm doors. Building #19 is cross-shaped in plan, with one-story octagonal wings added to the north and south sides, and garages added to the west. (The two sides of Building #19 have been commonly denoted as #19A and #19B. For the purposes of this building summary, it is considered one building).

**SITE LOCATION**

Building #19 is aligned with Buildings #15-20 and together they form the west side of Nolan Park. To the west, the building looks across the parade ground towards Fort Jay. The siting of Building #19 followed the unified vision that created Nolan Park.

**HISTORIC DEVELOPMENT**

Built in 1891 as a double unit for Company Officer's Quarters, Building #19 was intended to accommodate the arrival of officers associated with Fort Columbus' becoming the Headquarters of the Military Division of the Atlantic and the Department of the East. Built thirteen years later than the majority of the clapboard frame residential structures around Nolan Park, Building #19 was clearly intended as a continuation of the precedent set in 1855 by buildings #4 and #5. The octagonal additions date to 1902, as do the porch extensions. Asphalt shingles installed over clapboards in the 1950's were recently removed, and the enclosure of the front porch was reversed. Building #19 has retained its residential function and character, serving most recently as housing for Coast Guard officers' families.

**SIGNIFICANCE**

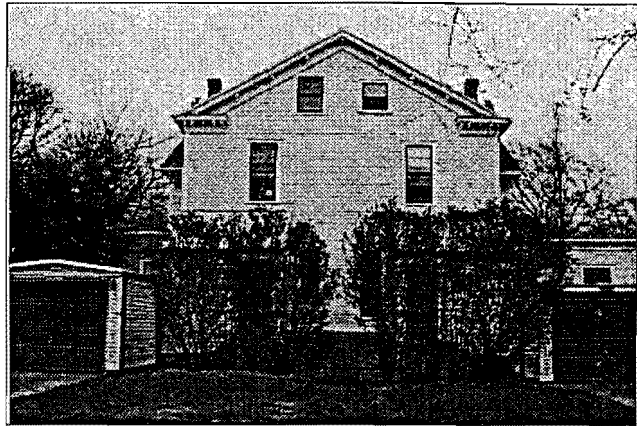
Building #19 is a Category 2 property.

Building #19 was part of a second wave of building associated with the Island's becoming an important military headquarters, and as a part of an ongoing attempt to create a residential enclave around Nolan Park.

## *Governors Island Historic District*



*Side Elevation*



*Rear Elevation*

### WHAT IS IMPORTANT TO PRESERVE?

The exterior of Building #19 has most of its original materials and appearance. It retains its original siding materials, and the large front porches and decorative scrollwork date back to the nineteenth century. The octagonal and side porch additions are of a scale, design, and age that contribute to the character of the building. The garage additions do not contribute to the structure.

Exterior elements of the building that should be preserved include the form, scale and style of the original building and the octagonal and side porch additions; the original wood clapboard siding; brick basement walls; eaves; front porches with decorative brackets and balusters; wood windows and surrounds; front doors and surrounds; trim; eaves and gable brackets; chimneys; and, stained glass window.

The interiors of Building #19 contain some good architectural detailing and elements, however, the original interior has been modified, and no longer retains historic or architectural integrity. Elements and details of the interior may be retained, but there are no portions requiring preservation.

### KEY PRESERVATION ISSUES

In addition to the building form, site orientation of Building #19 is an important preservation issue. Its

relationship to Nolan Park and the Parade Ground is an important element in defining this portion of the Governors Island Historic District.

Building #19 is part of a prominent group of buildings within the Historic District. Any new construction or additions affecting the exterior should be limited to the west side of the building.

### LANDSCAPE & SITE FEATURES

Building #19 faces Nolan Park and is surrounded by sloped brick walkways and driveways, and mature trees are located around the building. These are important site elements that should be preserved and maintained.

**BUILDING #20  
OFFICER'S QUARTERS**



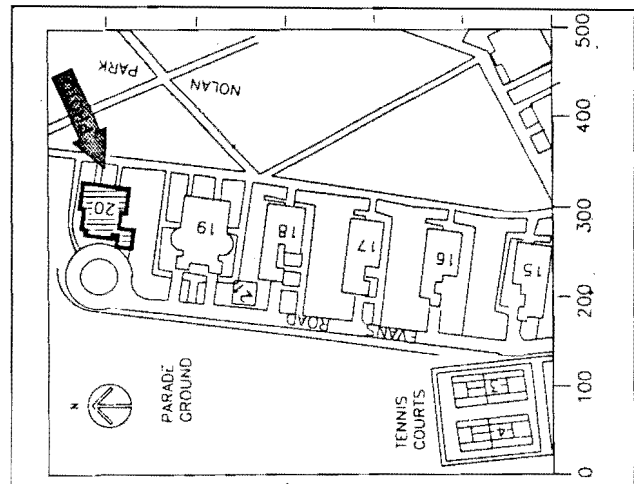
*Front Elevation*

**ARCHITECTURAL DESCRIPTION**

Building #20 is a two-family "Victorian/Colonial Revival" style housing structure located at the end of the west side of Nolan Park. Originally built as a large, single family officer's quarters in 1904, it was rehabilitated for two families around 1936. The main building is a rectangular shaped three-story wood frame structure covered with wood clapboards. The foundation has two different materials—brick to the west and schist to the east of the structure. Screened-in wood porches with decorative wooden columns and baluster run along the east facade, behind which are located the two main entrances, one for each family. The original balusters had turned posts. Fenestration consists of six-over-six double-hung wood windows and paneled wood doors. Although altered, Building #20 remains in harmony with the other small-scale frame residences surrounding Nolan Park. It has a shared original firestair in the rear which is the only means of access to 3rd floor servants quarters and basement.

**SITE LOCATION**

Building #20 is aligned with buildings #15-19 and together they form the west side of Nolan Park. To the west, the building looks across the parade ground towards Fort Jay.



*Site Location Map*

**HISTORIC DEVELOPMENT**

Building #20 was constructed in 1902 as company officer's housing when Fort Columbus was the headquarters of the Military Division of the Atlantic and the Department of the East. While it follows the general form of the other Nolan Park structures, it is designed with Colonial Revival detailing. It was reconfigured in 1936-38 as a two-family house, but retains much of its historic character. These renovations included reconfiguring the porch, removal of the south bay, and removal of decorative brackets and dentils from the eaves. In 1986 the exterior was restored.

**SIGNIFICANCE**

Building #20 is a Category 2 property.

Building #20 was a part of a second wave of building associated with the Island's becoming an important military headquarters, and as a part of an ongoing attempt to create a residential enclave around Nolan Park. It was the last structure built on Nolan Park

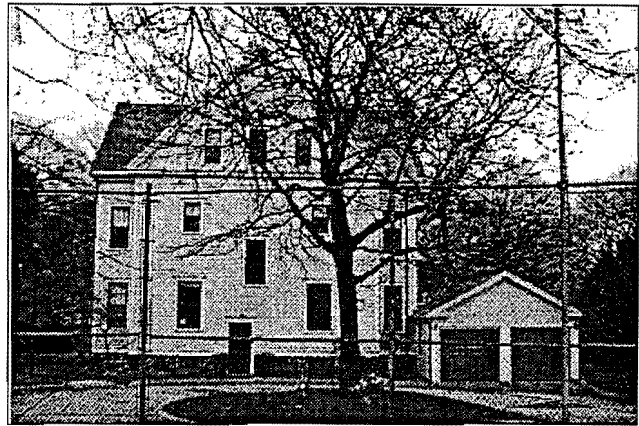
**WHAT IS IMPORTANT TO PRESERVE?**

The exterior of Building #20 has most of its original materials and appearance. It retains its original





*Left Front Elevation*



*Rear Elevation*

siding materials, and the large front porches and decorative scrollwork appear to be original. The additions are of a scale and age compatible with the original building, and contribute to its character.

Exterior elements of the building that should be preserved include the basic building form and scale; the original exterior materials—wood clapboard siding, brick and schist basement walls; eaves; front porches with decorative brackets and balusters; wood windows and surrounds; front doors and surrounds; trim; eaves and gable brackets; chimneys; and, stained glass window.

Although there are individual elements and details in Building #20 that could be retained, extensive remodelings have resulted in a loss of architectural and historic integrity. Accordingly, there are no elements of the interior that require preservation.

#### **KEY PRESERVATION ISSUES**

The scale, form and orientation of Building #20, along with the other residential structures lining the west side of Nolan Park, is the most critical preservation issue.

Additions to the building, if necessary, should be limited to the west side, and the rear portions of the north and south elevations.

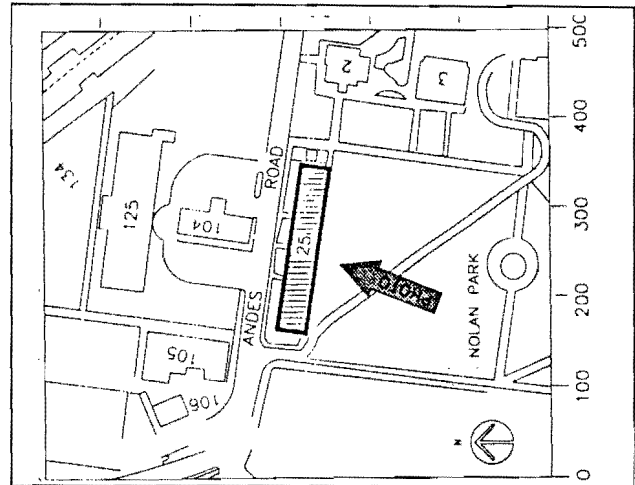
#### **LANDSCAPE & SITE FEATURES**

Building #20 is surrounded by sloped brick and slate walkways and driveways, and mature trees are located around the building. These are important site features that should be preserved and maintained. Non-historic tennis courts are located on the parade ground side of the building.

**BUILDING #25**  
**ORDNANCE STOREHOUSE**



*Front Elevation*



*Site Location Map*

**ARCHITECTURAL DESCRIPTION**

Building #25 is the Ordnance Storehouse. It is a long, narrow utilitarian structure constructed of brick masonry bearing walls. There are two stories on the front (south) facade and three on the back (north). The brick work is in Flemish bond in the western section and common bond in the eastern section. A cantilevered, wood-frame with white-painted clapboard siding addition has been built onto the second floor along the long southern flank facing Nolan Park. This addition is supported by square, white-painted, wooden columns. Asphalt shingles cover the hipped roof.

**SITE LOCATION**

Building #25 is located at the northern end of Nolan Park, which is located in the southeastern end of the historic district. This long, narrow structure is oriented on an east-west axis. The southern facade faces the grassy expanse of Nolan Park, and the northern facade faces Buildings 104 and 125.

**HISTORIC DEVELOPMENT**

With the original section dating to 1811, the Ordnance Storehouse was constructed to accompany the newly rebuilt Fort Columbus, the masonry fort (later renamed Fort Jay) that replaced the original

earthworks of old Fort Jay. During its long history, this building has been adapted and reused many times. In 1878 the Headquarters of the Military Division of the Atlantic and the Department of the East was transferred to Fort Columbus, and Building #25 became the office of the post commander and was enlarged with the second story addition, then an open porch. Between 1936 and 1938, the porch was partially enclosed, and in 1953 more portions were enclosed. These sections were enclosed with clapboard siding and windows with granite sills.

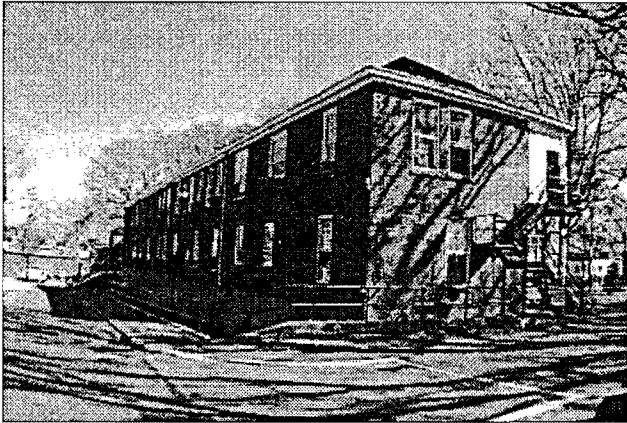
**SIGNIFICANCE**

Building #25 is a Category 2 property

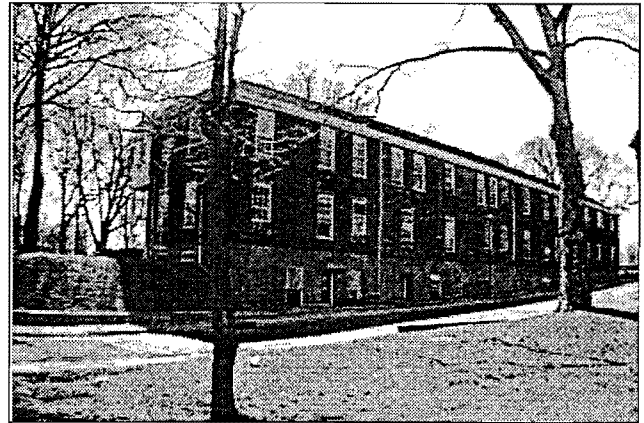
Although the building has undergone numerous changes it remains a highly significant structure within the Governors Island Historic District. The Ordnance Storehouse is one of the oldest surviving buildings that dates to the reconstruction of Fort Jay in the first half of the nineteenth century. The design of this building has been attributed to Lt. Col. Jonathan Williams, architect for Castle Williams.

**WHAT IS IMPORTANT TO PRESERVE?**

Building #25 retains much of the historic nineteenth-century materials and additions, however, the enclosure of the porch throughout the twentieth



*Side Elevation*



*Rear Elevation*

century detracts from its significance. Accommodation of modern necessities in office technology has significantly reduced the integrity of the interior.

Exterior elements of the building that should be preserved include its form and current scale; multi-pane double-hung wood windows; openings and doors in the brick walls behind the enclosed porch on the first and second floor; and the wood paneled doors below transom lights.

The recent enclosures of the porch; window air-conditioning equipment; storm windows; and the concrete areaway and areaway railing on the building detract from its integrity.

Due to extensive remodelings, there are no interior elements that require preservation.

#### KEY PRESERVATION ISSUES

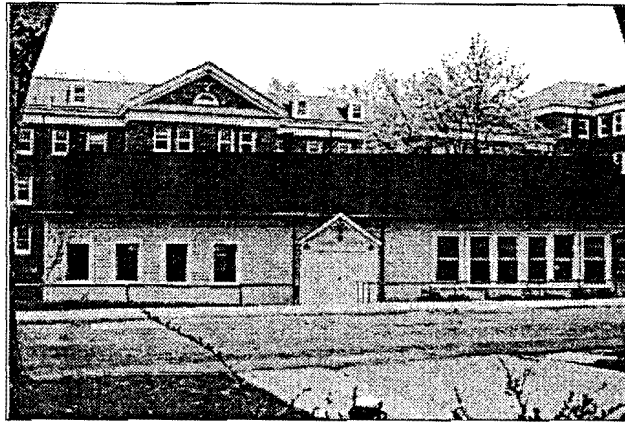
The important preservation issues on Building #25 center around its scale and siting at the north edge of Nolan Park.

Any additions to the building should be limited to its north side.

#### LANDSCAPE & SITE FEATURES

Building #25 faces Nolan Park and is surrounded by sloped brick walkways and driveways, and mature trees are located around the building. These important site elements should be preserved and maintained.

**BUILDING #40**  
**JEWISH CHAPEL**



*Front Elevation*

**ARCHITECTURAL DESCRIPTION**

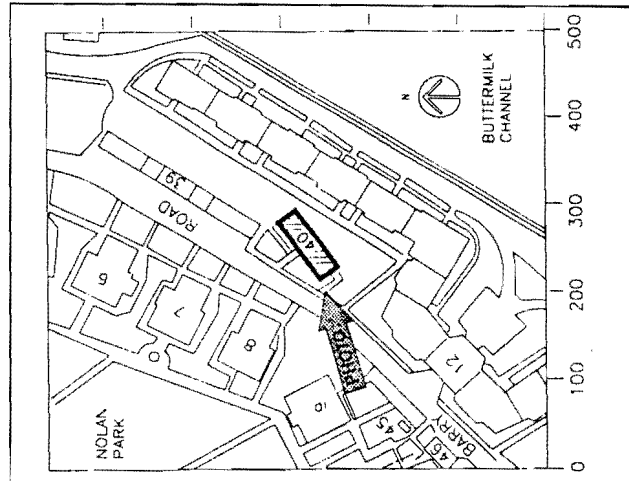
Building #40 is a one-story rectangular frame structure set on a painted brick foundation. The original wood siding was laid vertically, then subsequently covered with asbestos shingles. In more recent years (post 1983), this has been replaced by horizontal clapboard. The gabled roof is covered with asphalt shingles. The portion of the building used for worship purposes has multi-paned wood windows set behind storm sash. The remainder of the building has one-over-one windows set behind storm sash.

**SITE LOCATION**

Building #40 is located on Barry Road between Nolan Park and South Battery areas, adjacent to Building #12.

**HISTORIC DEVELOPMENT**

Building #40 was originally constructed for temporary storage in 1918 as the Army was expanding its facilities on the Island during World War I. In the mid-twentieth century (perhaps the 1960s) it was converted for purposes of Jewish worship and as a meeting space.



*Site Location Map*

**SIGNIFICANCE**

Building #40 is a Category 2 property.

This temporary structure was listed in 1984 on the National Register of Historic Places as part of the Governors Island National Historic Landmark District, and is part of the New York City Governors Island Historic District, dated June 18th, 1996. It attests to the cultural diversification of the permanent military community and is one of the few surviving temporary structures from World War I in the Governors Island Historic District.

**WHAT IS IMPORTANT TO PRESERVE?**

Building #40 has been significantly altered from its original appearance. At one time all the windows were replaced, and the basement windows have been infilled on the south side. The building appears to have been modernized in the 1950s and then again in the 1980s.

Exterior elements of the building that should be preserved include the basic form and scale of the structure; wood cornice; and, window openings

There are no interior elements that should be preserved.



*Side Elevation*



*Rear Elevation*

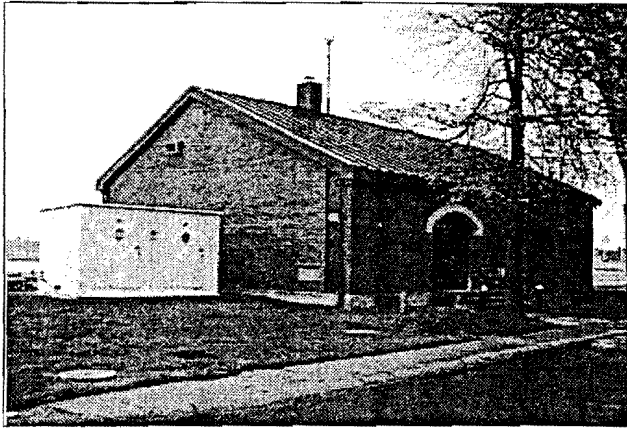
#### KEY PRESERVATION ISSUES

This building has been designated as a possible candidate for demolition given the low level of integrity and significance. It is, however, one of the few remaining temporary structures from World War I, and preference should be given to re-using the structure.

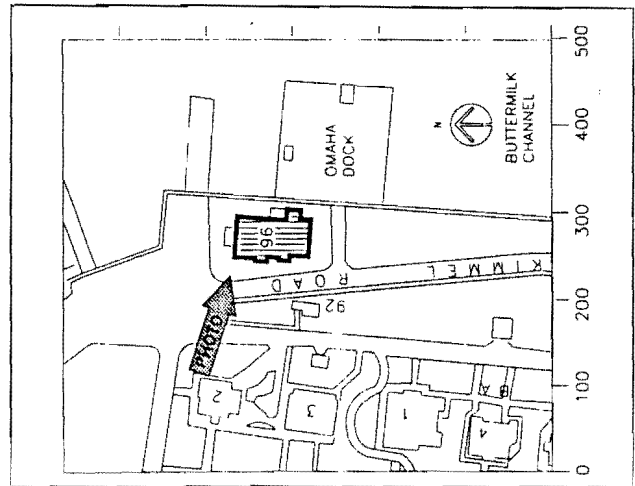
#### LANDSCAPE & SITE FEATURES

Building #40 is surrounded by concrete and asphalt paving, which can be removed. The mature trees located within grassy plots around the building should be preserved.

**BUILDING #96**  
**GROUP ENGINEERING**



*Front Elevation*



*Site Location Map*

**ARCHITECTURAL DESCRIPTION**

Building #96 is a modern one-story structure used for workshops. This structure is rectangular shaped in plan, constructed mainly of brick masonry over a concrete foundation and topped with a metal gable roof. This structure has a series of metal and brick storage and utility sheds surrounding it. It has an excellent, unobstructed view of Buttermilk Channel from the north, south and east sides as well as a view of the Nolan Park area.

**SITE LOCATION**

Building #96 is located between Kimmel Road and Ohama Dock along the eastern shore of the Island.

**HISTORIC DEVELOPMENT**

Since its construction in 1986, Building #96 has functioned as the location of the USCG Group Engineering. Since its construction there have been no known alterations or modernization.

**SIGNIFICANCE**

Building #96 is a Category 3 property.

This structure is not listed on the National Register for Historic Places and is not a contributor to the Governors Island Historic District.

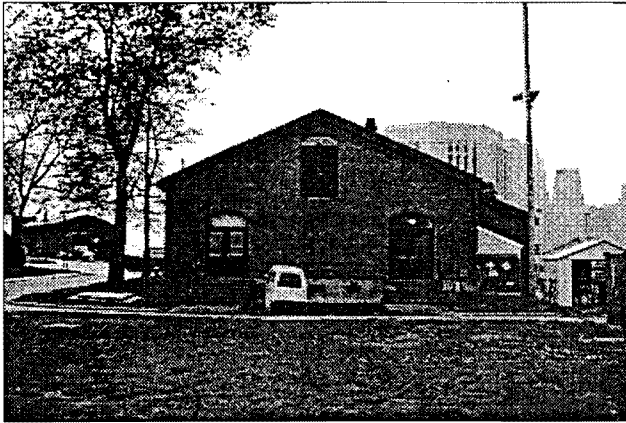
**KEY PRESERVATION ISSUES**

Building #96 is a noncontributing, modern structure that is eligible for demolition and may be a suitable site for significant modification. Due to its proximity to significant historic structures, additions are discouraged.

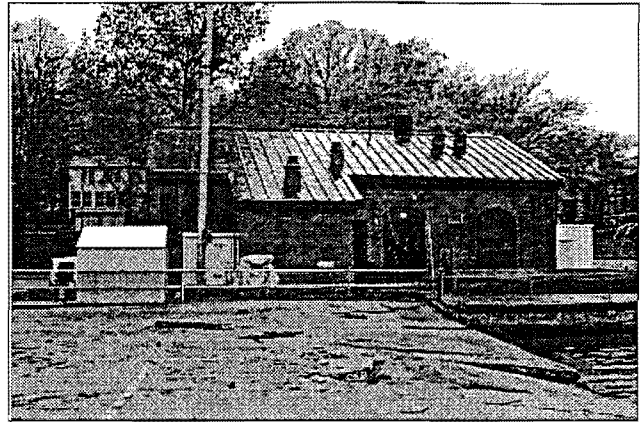
**LANDSCAPE & SITE FEATURES**

Building #96 is bordered by the harbor and Omaha Dock on one side and paved roadway and grassy areas with mature trees on the other. The site of the building has no significant landscape features.

*Governors Island Historic District*



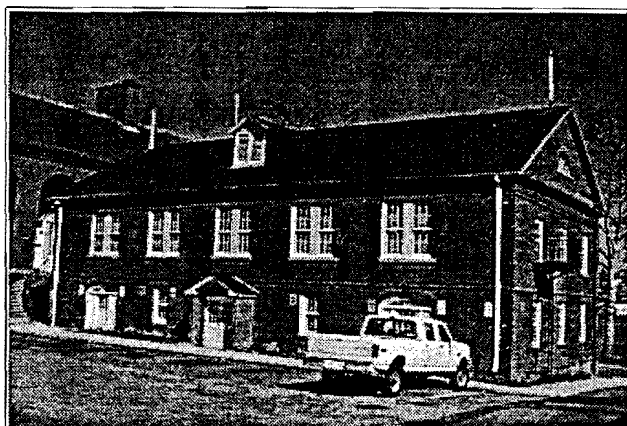
*Side Elevation*



*Rear Elevation*



**BUILDING #104**  
**ORDNANCE STOREHOUSE**



*Front Elevation*

**ARCHITECTURAL DESCRIPTION**

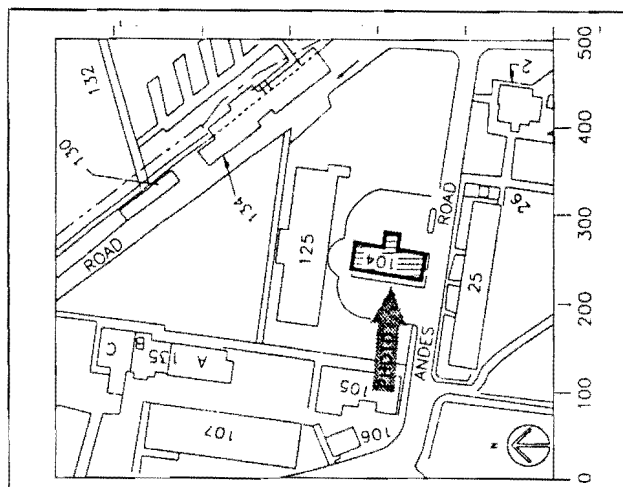
Building #104 is a two-and-one-half story utilitarian building constructed of brick masonry bearing walls on a granite watertable set on a rubble stone foundation. The building is closely related in scale, materials and architectural details to the other structures in the Arsenal complex. Three wood-framed dormers project from the gable roof—two on the east elevation and one on the west elevation. A three-story brick masonry tower with a hipped roof is centered on the east elevation. The first floor level of the tower contains elliptical, arched entryways. These have been fenced in to protect air-conditioning equipment. Sandstone soffits run the full perimeter of the building. Windows consists primarily of aluminum six-over-six double-hung sash.

**SITE LOCATION**

Building #104 is located near the waterfront in the area of the Island developed as the New York Arsenal. It stands between Buildings #25 and #125. Parking lots surround the building, and grassy areas lie beyond those.

**HISTORIC DEVELOPMENT**

Building #104 was constructed as an ordnance storehouse for the New York Arsenal in 1850. The



*Site Location Map*

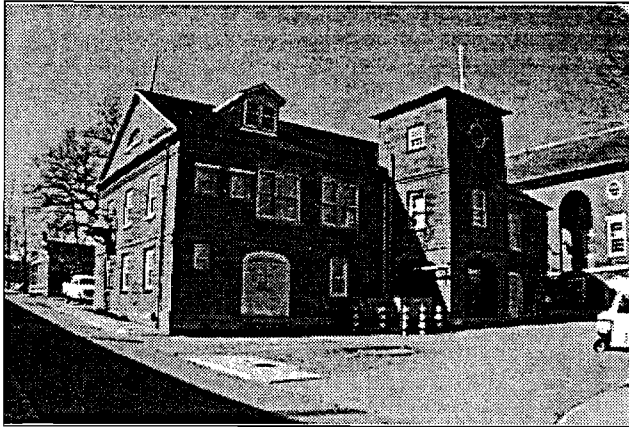
clock tower is typical of ordnance storehouses from this period, but the original clock was replaced with a window. The building was converted to a museum in 1882 when it was loaned to the Military Service Institute of the United States, created through the efforts of General Winfield Scott Hancock, the commanding officer at Fort Columbus in 1878. Window openings were added to the second floor between 1884 and 1895. When the museum closed in 1917, and the Smithsonian Institution took possession of the collection. In 1920, when the New York Arsenal left Governors Island, the Second Corps Area of the Army took possession of the building and converted it to offices. Building #104 was scheduled for demolition after the completion of the new headquarters building for the Second Corps Area (Pershing Hall, Building #125) in 1934.

**SIGNIFICANCE**

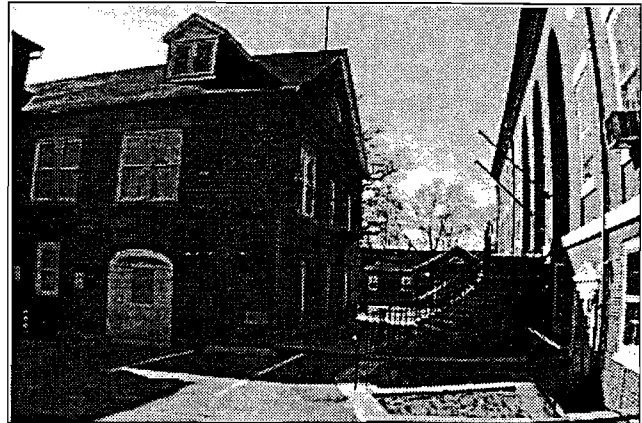
Building #104 is a Category 2 property.

The significance of Building #104 derives from its age and original use as an ordnance storehouse for the New York Arsenal. It is included in the New York City Landmark Preservation Commission designation report for the Governors Island Historic District, as well as the National Historic Landmark District nomination. It has been continually used throughout its history, but that use has changed over

## *Governors Island Historic District*



*Rear Elevation*



*Side Elevation*

time. While the clock tower suggests its original function as an ordnance storehouse, the fenestration in the second floor diminishes the appearance of that phase of its history.

### **WHAT IS IMPORTANT TO PRESERVE?**

Many original features of Building #104 have been lost and the replacements have not always matched the originals, but most of the exterior is intact. However, the interior has been gutted. No significant interior material remains except for sections of the original wood trusses in the attic. All windows in the building have been covered over on the inside with panels.

Exterior elements of the building that should be preserved include the basic building form and scale; clock tower; masonry walls; first floor arched opening with splayed brick lintels; fan lights and side lights on the east side; fan light on the north end of the third floor; and projecting brick moldings above the first and second stories.

There are no interior elements that should be preserved.

### **KEY PRESERVATION ISSUES**

In terms of architecture or siting, Building #104 is not a significant element in the historic district, however, its history and continued use are important

elements in illustrating the early development and evolution of Governors Island.

Because of the significance and visibility of each of the building's facades, no above-grade additions should be placed on the structure.

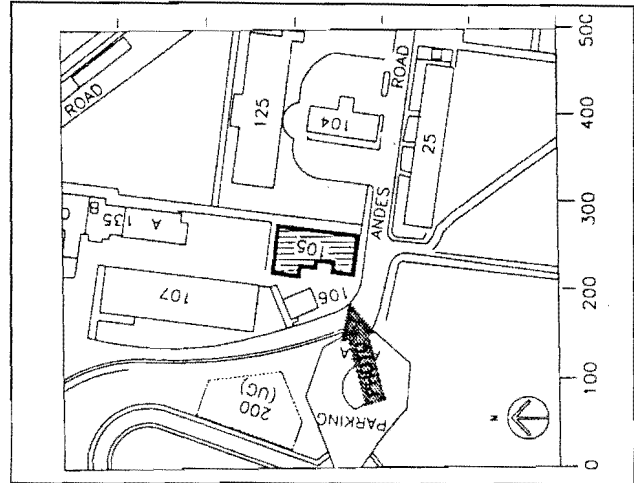
### **LANDSCAPE & SITE FEATURES**

Building #104 is surrounded by asphalt paving to the south and a grassy slope to the north. There are no landscape or site features that should be preserved.

**BUILDING #105**  
**ARMORY**



*Front Elevation*



*Site Location Map*

**ARCHITECTURAL DESCRIPTION**

Building #105, the Armory and Offices of the New York Arsenal, consists of two one-story brick masonry utilitarian structures with gable roofs—a north section and south section. These sections are joined by another gable roofed section. The older sections exhibit common bond brickwork with granite trim and granite bases. Window openings feature splayed-brick lintels. The south section is accented with a brick string course. The south gable has a brick parapet which is pierced with a lunette. The windows are typically six-over-six double-hung wood windows with modern aluminum storm sash.

**SITE LOCATION**

Building #105 lies east of the entrance to Fort Jay on Andes Road, between Buildings #106 and #104. The building consists of two sections. The north section is oriented east-west, and the south is oriented north-south. It is flanked by small grassy areas, and a portion surrounds a large deciduous tree.

**HISTORIC DEVELOPMENT**

The building was constructed in several stages—the north section in 1853 as an armory and office; the south section in 1860 as an office. It also housed a museum. The connecting section was added in 1882

when the south section was expanded with a western wing. When the New York Arsenal took residence on the Island in 1833, it began a building campaign to accommodate its many, various needs. Building #105 and others in the immediate vicinity were constructed during this period of the mid-nineteenth century. The Second Corps of the Army took possession of the building when the New York Arsenal closed in 1920. In 1940, Building #105 was expanded again. Up until the Coast Guard vacated the Island, the building was used as offices.

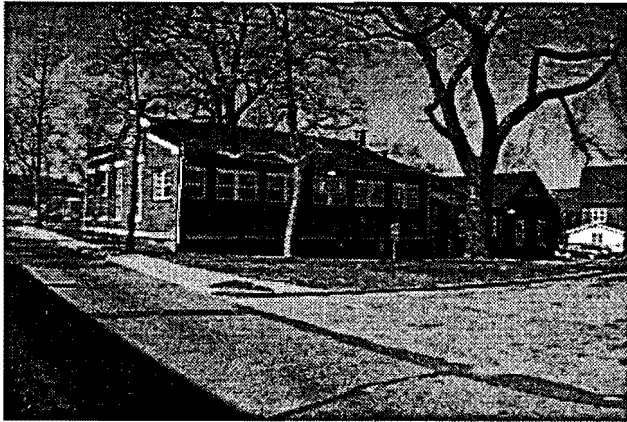
**SIGNIFICANCE**

Building #105 is a Category 2 property.

The significance of the building lies in its association with the New York Arsenal. Taken together the buildings related to the Arsenal are significant, but many individual structures do not warrant individual listing.

**WHAT IS IMPORTANT TO PRESERVE?**

Building #105 retains a great deal of its original exterior materials and appearance. While additions to the building were constructed through much of the nineteenth century, these additions are now significant as each reflects a change in use.



*Side Elevation*



*Rear Elevation*

Exterior elements of the building that should be preserved include its form and scale; masonry walls, including brick and brownstone blocks around the door on the north facade holding the door hardware; marble window sills and beltcourse on south facade; fanlights/transoms in the west facade; lunette windows on all sides; decorative wood soffits on the south end; and brick stringcourses at the north end.

Although there are isolated pieces and details of the interior of the building that are interesting, such as a decorative pressed tin ceiling at the north end of the building, and decorative plaster ceilings in the central storage room and the room at the south end of the building, numerous remodelings and changes in use have destroyed any integrity of the interior. There are no interior elements that require preservation.

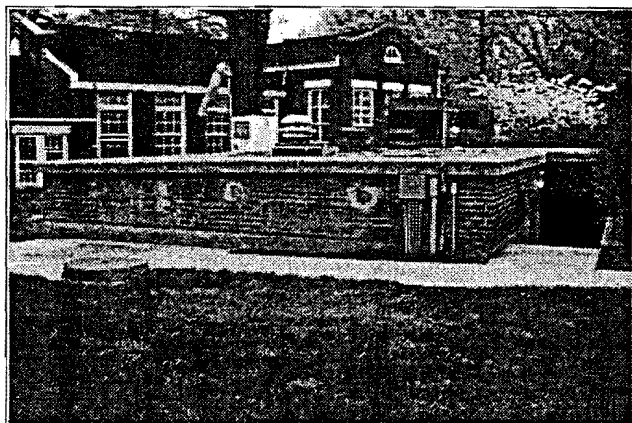
#### KEY PRESERVATION ISSUES

The significant features of Building #105 are its scale and form. The unique pediments along the exterior walls, and the detailing around the openings are important to preserve. Additions to this building are discouraged but, if necessary, should be limited to the north end of the structure.

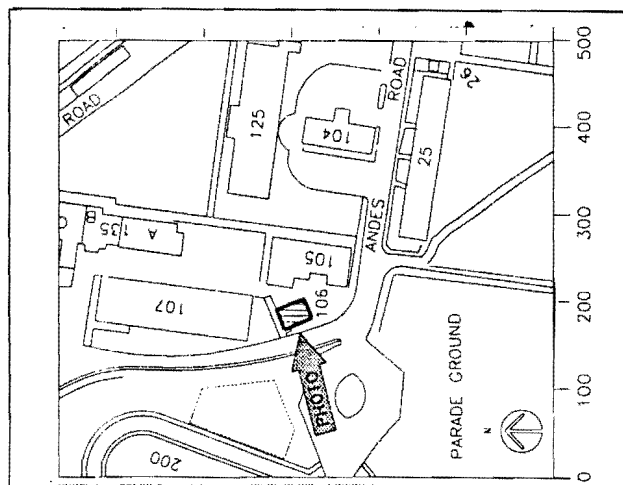
#### LANDSCAPE & SITE FEATURES

Building 105 is surrounded by small grassy areas and mature trees. These are important site features that should be preserved.

**BUILDING #106**  
**RESERVOIR PUMPHOUSE**



*Streetside Elevation*



*Site Location Map*

**ARCHITECTURAL DESCRIPTION**

Building #106 is the pumphouse for the reservoir. A small sunken rectangular structure, it was constructed with American bond brick masonry walls and a flat concrete roof. The windows are two-over-two double hung metal sash. There are metal louvered vents and metal doors. The building is set down into the ground with the entrance nine steps below grade. Its roof is approximately four feet above grade.

**SITE LOCATION**

This little building stands directly across Andes Road from the entrance to Fort Jay. It is wedged between Buildings #105 and #107 in the northeastern quadrant of the Governors Island Historic District.

**HISTORIC DEVELOPMENT**

The Reservoir Pump House was constructed in 1941 near the time of the entry of the United States into World War II. During this period the First United States Army was stationed on Governor's Island (1933-1943).

**SIGNIFICANCE**

Building #106 is a Category 4 property.

The significance of the Pump House is minimal as it serves a purely utilitarian function and is architecturally undistinguished.

**WHAT IS IMPORTANT TO PRESERVE?**

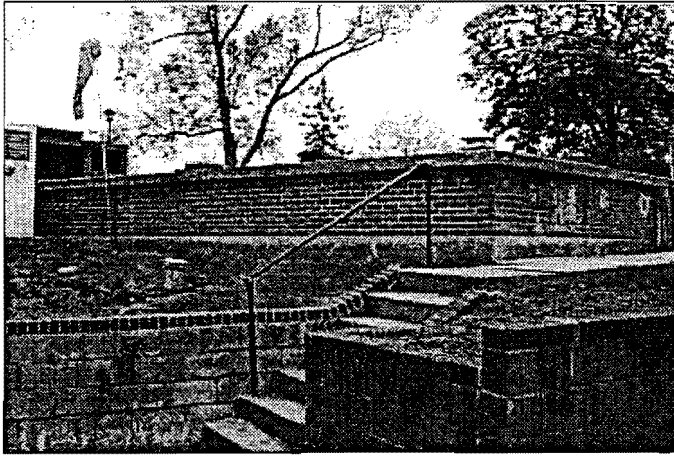
There are no exterior or interior elements of the building that should be preserved. The location of the structure interferes with visual access to Building #105.

**KEY PRESERVATION ISSUES**

This building has been designated as a possible candidate for demolition. Given its prominent location along a principal path of travel, and its proximity to Fort Jay, if it is demolished the no new above grade construction should occur on the site.

**LANDSCAPE & SITE FEATURES**

Building 106 is surrounded by concrete walkways and sloped grassy areas. There are no site features that require preservation.

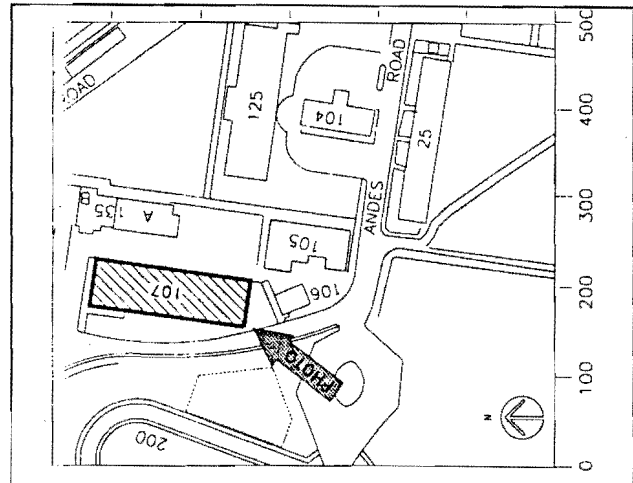


*Rear Elevation*

**BUILDING #107  
STOREHOUSE**



*Front Elevation*



*Site Location Map*

**ARCHITECTURAL DESCRIPTION**

Building #107 was built as a New York Arsenal storehouse. This long, single story brick-masonry utilitarian structure was built in several sections. It has parallel double gable roofs with wood eaves and fascia. The foundation is bluestone rubble on the west and concrete on the east. Windows are typically six-over-six double hung aluminum sash, but windows on the north elevation are nineover-nine-over-nine triple-hung sash which were added in 1996. An entrance vestibule was added to the west elevation in 1980.

**SITE LOCATION**

Building #107 is a part of the New York Arsenal character area within the Governors Island Historic District. It is located across Andes Road to the north east of Fort Jay. The topography of this area drops off markedly toward the shore. In between the shoreline and Building #107 is the Building #135 (Commanding Officer's Quarters of the New York Arsenal).

**HISTORIC DEVELOPMENT**

When the New York Arsenal took residence on the island in 1833, it began a building campaign to accommodate its many, varied needs. The western

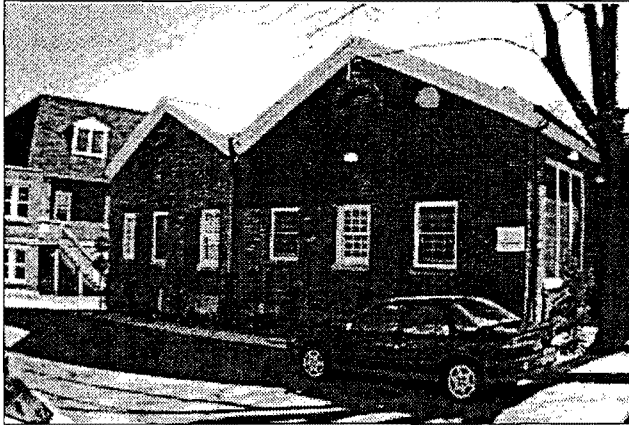
section of the building was constructed between 1856 and 1857 as a storage shed for gun carriages. This was the fourth storehouse constructed by the Arsenal. This structure burned and was rebuilt in 1904. The eastern section was added between 1908 and 1918. When the New York Arsenal closed in 1920 the Second Corps of the Army took possession of the building and continued to use it for storage. It was converted to office space in 1940. Since then the interior was gutted by the Coast Guard in preparation for a rehabilitation that was never completed.

**SIGNIFICANCE**

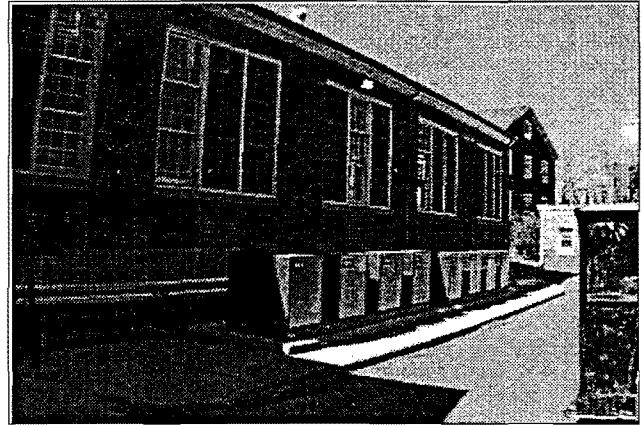
Building #107 is a Category 2 property.

Although this structure is not listed individually on the National Register of Historic Places or as an individual New York City Landmark, it is included in the New York City Landmark Preservation Commission Designation Report for the Governors Island Historic District, and listed as a contributing building in the Governors Island National Historic Landmark designation. The significance of the building relates to the period of its construction, having been a part of the New York Arsenal occupation on the Island.





*Side Elevation*



*Rear Elevation*

#### WHAT IS IMPORTANT TO PRESERVE?

Building #107 retains its original form and masonry shell. Otherwise, it does not retain many of its original materials. The interior has been gutted. The concrete floor is exposed and the walls are unfinished. The exterior brickwork is intact, but the windows have been replaced—some as recently as 1996.

On the exterior of the structure, elements that should be preserved include the overall building form, scale, and materials; the entry door opening on the east facade with a brick arch; and, concrete keystone surrounded by brick pilasters.

There are no interior elements in this structure that should be preserved.

#### KEY PRESERVATION ISSUES

Those elements that contribute to the character and significance of the property should be maintained. Building #107 is part of a prominent grouping of structures within the Historic District. New construction or additions affecting the exterior are discouraged, however, if required, they should be limited to the building's east side.

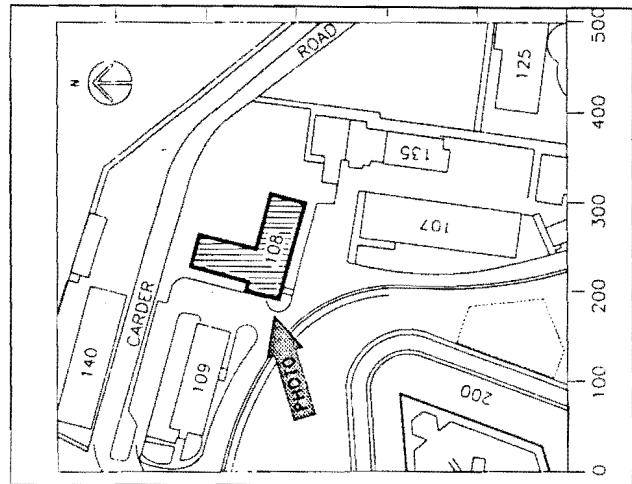
#### LANDSCAPE & SITE FEATURES

Building #107 is surrounded by paved roadways, concrete walkways and sloped grassy areas containing several mature trees. With the exception of the mature trees, there are no significant landscape or site features.

**BUILDING #108  
MARSHALL HALL**



*Front Elevation*



*Site Location Map*

**ARCHITECTURAL DESCRIPTION**

Building #108 is a two-story brick "Neo-Georgian" style office building with a full basement, an L-plan, and neo-Georgian detailing. It is masonry bearing construction with a cross-gable, asphalt-shingle roof. A raking wood cornice defines the roofline. Windows are six-over-six double-hung aluminum replacement sash. The primary entrance is on the south elevation and is flanked by Tuscan columns supporting a flat entablature. A modern, elevated deck is situated along the north wing.

**SITE LOCATION**

The building is situated to the northeast of Andes Road and the south of Carder Road with views of the Manhattan skyline. It lies directly adjacent to Building #109, across from Fort Jay.

**HISTORIC DEVELOPMENT**

Building #108 was constructed in 1945 as administrative office space for the First Army of the United States, which was a unit of primary military importance during World War I and World War II. It was built during the final years of the Island's last major building campaign. The building was named Marshall Hall in recognition of the accomplishments of General George C. Marshall. After the Coast

Guard took over the Island, it continued to be used as offices.

**SIGNIFICANCE**

Building #108 is a Category 2 property.

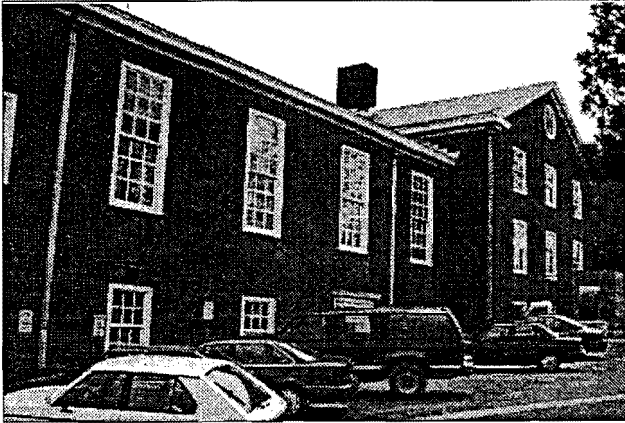
This building is significant for its associations with the First Army of the United States, a prominent and powerful military unit during the World War I and World War II. Its neo-Georgian details are representative of military design of the period found at Army installations, and which was used on the Island in the 1920s.

**WHAT IS IMPORTANT TO PRESERVE?**

Alterations to the exterior of Building #108, including the addition of a deck on the north side of the building, the installation of handicapped ramps on the south and west facades, infilling two windows with brick and vents, replacement of original window sash and doors, has somewhat diminished the integrity of detail on the structure, but its overall importance remains.

Exterior elements of the building that should be preserved include its form and scale; pedimented entrances, transom, wood cornice, louvered oculus, and broken pediments on gable ends.

## *Governors Island Historic District*



*Left Side Elevation*



*Rear Elevation*

Due to numerous remodelings, there are no interior elements that require preservation.

### KEY PRESERVATION ISSUES

Building #108 is part of a prominent group of buildings within the Historic District, and its orientation toward Fort Jay, along with the scale of the building, are important preservation issues.

No additions should be placed along the south or front west sides of the building. Additions, if necessary, should be limited to the interior of the "L" of the building.

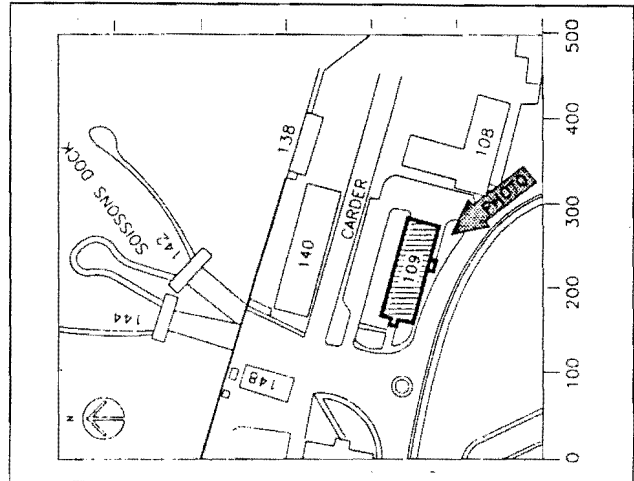
### LANDSCAPE & SITE FEATURES

Building #108 is surrounded by concrete walkways and sloped grassy areas. There are no significant site features requiring preservation.

**BUILDING #109**  
**ADMINISTRATIVE OFFICES**



*Front Elevation*



*Site Location Map*

**ARCHITECTURAL DESCRIPTION**

Building #109 is a rectangular-plan, one-story tall utilitarian brick office and storage building that rests on a raised stone basement. It was originally constructed in wood in 1918 and rebuilt in brick after 1945. Ornamental details include brick quoins, diamond panels on the side walls, splayed brick lintels, and lunettes in the gable ends. The building has a double-gable roof form sheathed in asphalt shingles and penetrated by two chimneys. Windows are six-over-six double-hung wood sash set behind modern storm sash. The entrance has a rustic, wood door surround.

**SITE LOCATION**

The building is situated north of Andes Road near the ferry landing at the entrance to the Island. It has views of Fort Jay to the south.

**HISTORIC DEVELOPMENT**

Building #109 was originally constructed in 1918 as a frame, utilitarian warehouse. It was later used as administrative offices for the Second Corps Area of the Army. During the 1930s and 1940s, the structure saw new life as the post commissary. In 1945, it was

rebuilt in brick for office use. Under the Coast Guard administration, it served as the offices of the Captain of the Post.

**SIGNIFICANCE**

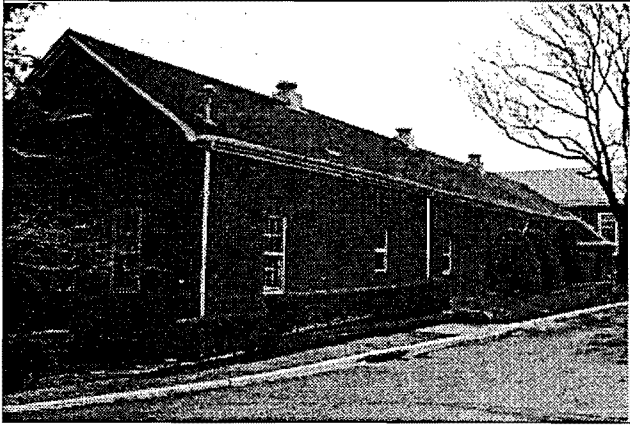
Building #109 is a Category 2 property.

Building #109 was one of the last buildings constructed for the New York Arsenal on Governor's Island. It was used to store ammunition prepared for army use during World War I.

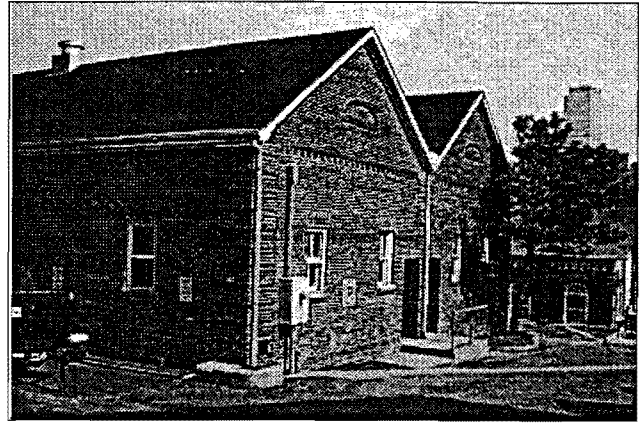
**WHAT IS IMPORTANT TO PRESERVE?**

Modern exterior alterations to the building include the addition of a "rustic" wood entrance on the west facade, a mechanical room and retaining wall on the south facade, and concrete steps at the east entrance. Interior alterations are extensive. The interior of the building was completely remodeled and all visible historic fabric removed.

Exterior elements of the building that should be preserved include the low scale of the building along Andes Road; brick masonry exterior; quoins; water table; dentil band course; diamond panels; and, lunette windows.



*Side Elevation*



*Rear Elevation*

There are no interior elements in the building that should be preserved.

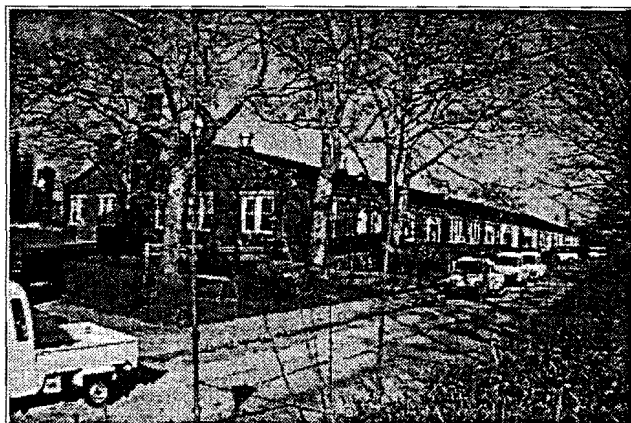
#### KEY PRESERVATION ISSUES

The low scale of the Andes Road face of the building is important in maintaining the character of the immediate site around Fort Jay. Additions to the building, if necessary, should be limited to its north facade.

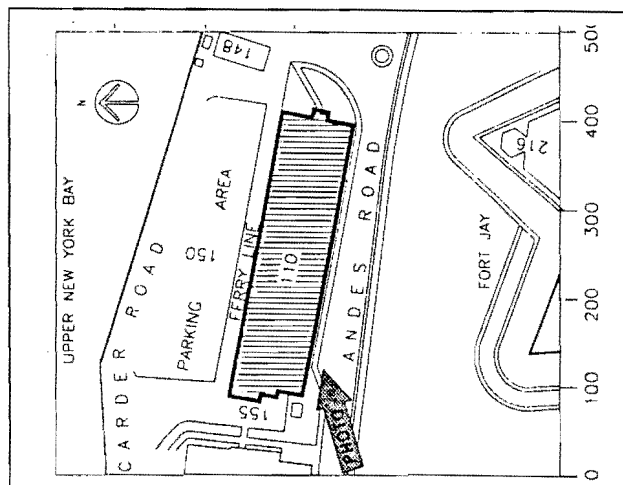
#### LANDSCAPE & SITE FEATURES

Building #109 is surrounded by paved roadways, concrete walkways and sloped grassy areas containing several mature trees. Also, brick retaining walls line the roadways around the building. The mature trees and brickwork should be preserved and maintained.

**BUILDING #110  
STORAGE DEPOT**



Front Elevation



Site Location Map

**ARCHITECTURAL DESCRIPTION**

Building #110 is a two-and-one-half-story, rectangular, brick utilitarian "Romanesque Revival" Style building with a shallow-pitch gable roof. The roof is sheathed with rolled asphalt. The structure is masonry bearing wall construction with projecting brick pilasters that define the structural bays on the front facade. The primary entrance is centered on the east facade and consists of paired, multi-light doors with sidelights and an elliptical transom above. The windows are paired, double-hung, wood replacements with applied muntins, stuccoed brownstone lintels, and limestone sills. The long south facade features two entrances. Window openings have been altered.

**SITE LOCATION**

The building is sited on the north side of Andes Road west of the ferry slip with views of Manhattan, the water, the golf course, and Fort Jay. It was built into the hillside on the north waterfront. A severe paved area lies between the building and the north shore.

**HISTORIC DEVELOPMENT**

Built between 1870-79 to house obsolete Civil War munitions for the New York Arsenal, Building #110 was later used as a Quartermaster storage depot and was eventually converted for office use during World War I. The building contained offices through the remainder of the U.S. Army and Coast Guard periods.

**SIGNIFICANCE**

Building #110 is a Category 2 property.

Building #110 is associated with the New York Arsenal-period of the Island's development.

**WHAT IS IMPORTANT TO PRESERVE?**

Exterior alterations to Building #110 include the addition of a handicap ramp on the south facade, infilled archways on the north facade, window opening alterations, window replacements, and the construction of a new mechanical room on the west facade. The interior building has been gutted and remodeled, leaving no visible historic fabric.

Exterior elements of the building that should be preserved include its basic form and scale; brick masonry; visible steel tie rods; arched entryways, original hardware; and east facade door.

There are no interior elements in the building that should be preserved.

#### KEY PRESERVATION ISSUES

The low scale of this building across Andes Road from Fort Jay is important, and should be maintained. Additions may be placed at the north side of the building, and the parking area to the north is a potential site for new construction.

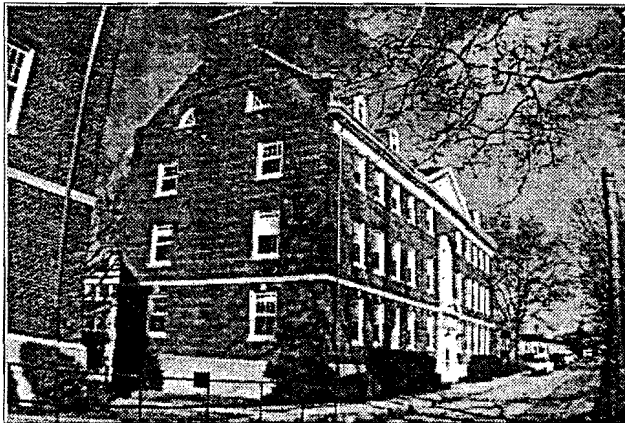
#### LANDSCAPE & SITE FEATURES

Building #110 is surrounded by paved parking lots and roadways, concrete walkways and sloped grassy areas containing mature trees. The building has excellent views of lower Manhattan. The trees and view are important features to be preserved and maintained.

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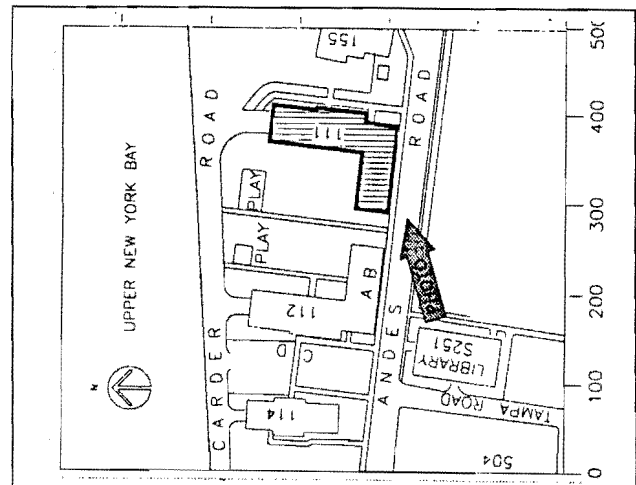
**BUILDING #111  
FAMILY HOUSING**



*Front Elevation*

**ARCHITECTURAL DESCRIPTION**

Building #111 is a three and a half story, brick-on-reinforced-concrete-frame, L-shaped residential structure, built in the Neo-Georgian style. The limestone base supports brick walls laid in a Flemish bond. Keystones at the first floor window surrounds, windowsills and a belt course at the second floor are of limestone. Prominent chimneys punctuate the flat brick gable end walls. Its simple gable roof is punctured with small dormer windows and a pedimented gable over the central primary entry bays along Andes Road. The roof has been recently replaced in slate. The main entrances are articulated by large 1-1/2 story limestone surrounds with broken pediments, and an arched stucco panel in which is set a large double-hung Palladian window. Entrance doors are paneled wood set behind storm doors with entrance steps of granite. Windows throughout the building are relatively recent six-over-six and eight-over-eight double hung metal replacements. The L-shape of Building #111 and its mirror-twin, #112, form a landscaped courtyard to the north. The courtyard elevations reveal that the Andes Road wing is a half-floor higher than the ell. The courtyard facades feature prominent two story wood bays topped by parapets.



*Site Location Map*

**SITE LOCATION**

Building #111 is located between Andes and Carder Roads. Its site slopes down to the north, and the north ell steps down to accommodate that slope. The building serves to complete the relatively dense wall of buildings along Andes Road, and, with its mirror image Building #112, defines a relatively sheltered, pleasantly landscaped waterside park along Carder Road with sweeping views of the Hudson River, lower Manhattan, and New Jersey.

**HISTORIC DEVELOPMENT**

Building #111 was constructed in 1934 to the design of the Architects Rogers and Poor. Intended as family housing for officers of the 16th Infantry, the building continued to function as officers' housing until the closing of the U.S. Coast Guard base. Building #111 is a part of the large ensemble of buildings that represent the last major military building campaign on Governors Island, and that were a part of the island-wide beautification plan initially conceived by the architectural firm of McKim, Mead, and White.



*Courtyard Elevation*

### SIGNIFICANCE

Building #111 is a Category 2 property.

The building is notable for its role in the 1930's expansion of the Island's population, as well as its link to the 16th Infantry that was stationed on the Island from 1921 until the Second World War. Along with Building #125, Buildings #111 and #112 are the only buildings in the northern part of the Island built as a part of the 1930's between-the-wars construction campaign. The particular configuration of the two buildings that defines the courtyard space recalls the design of both Building #400 and #550 and is typical of the Beaux Arts approach to urban planning.

### WHAT IS IMPORTANT TO PRESERVE?

The exterior of Building #111 possesses much of its original appearance. The masonry walls are in good condition and largely intact. The recent re-roofing was carried out in a careful manner. The loss of the original wood windows detracts from the building's integrity.

Exterior elements of the building that should be preserved include its scale and form, its relationship to Building #112 and the courtyard created by the two structures; the Flemish bond brick walls; limestone watertable; limestone entrance surrounds; cast iron lamps on pilasters; wood door surrounds; granite entrance steps; projecting two-story bays;



*Rear Elevation*

wood entablature; and, entrance doors. The replacement windows detract from the

There are no interior elements in the building that require preservation.

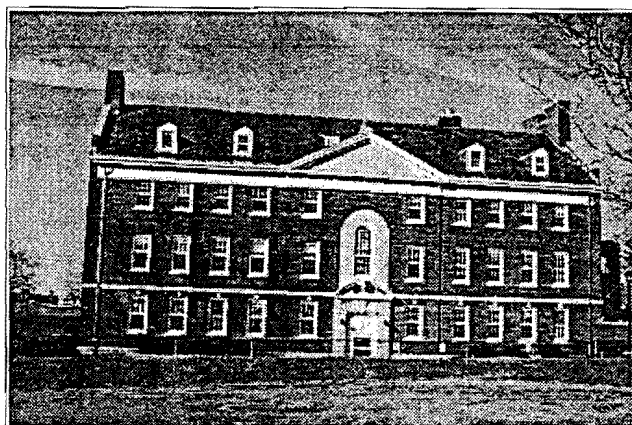
### KEY PRESERVATION ISSUES

Building #111 is a major, imposing structure on the Island. The scale and formality of the building is important to maintain, as is the open space created by the ell configuration. Because of the visibility of the building, no above-grade additions should be placed on any facade.

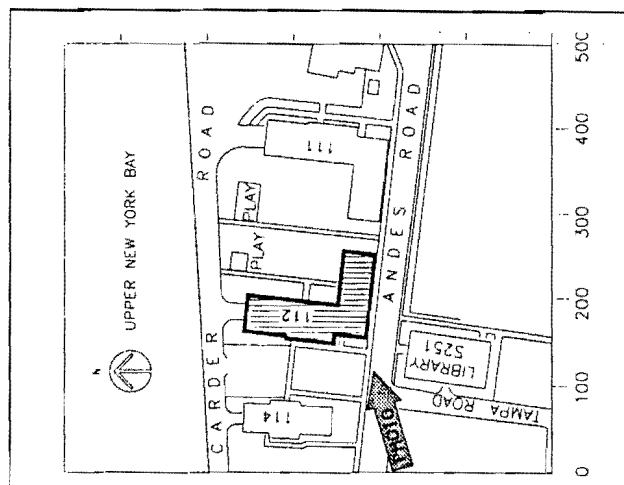
### LANDSCAPE & SITE FEATURES

Building #111 is surrounded by paved roadways, concrete walkways and sloped grassy areas containing several mature trees. The building surrounds a small park-like space containing playground equipment and benches. The building has spectacular views of lower Manhattan. Important elements to preserve are the mature trees and landscaping, and the park-like space adjoining Building #112.

**BUILDING #112**  
**FAMILY HOUSING**



Front Elevation



Site Location Map

**ARCHITECTURAL DESCRIPTION**

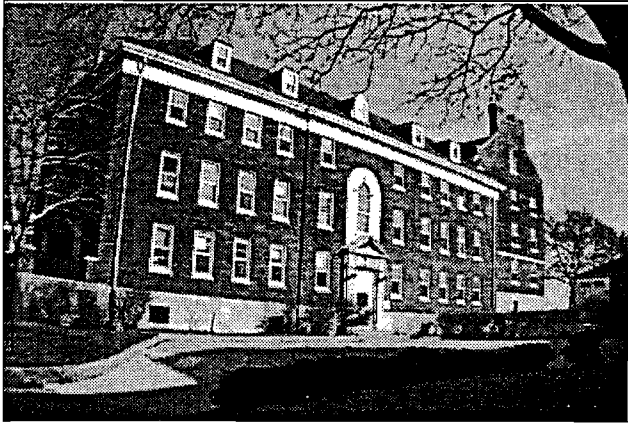
Building #112 is a three and a half story, brick-on-reinforced-concrete-frame, L-shaped residential structure, built in the Neo-Georgian style. The limestone base supports brick walls laid in a Flemish bond. Keystones at the first floor window surrounds, windowsills and a belt course at the second floor are of limestone. Prominent chimneys punctuate the flat brick gable end walls. Its simple gable roof is punctured with small dormer windows and a pedimented gable over the central primary entry bays along Andes Road. The roof has been recently replaced in slate. The main entrances are articulated by large 1-1/2 story limestone surrounds with broken pediments, and an arched stucco panel in which is set a large double-hung Palladian window. Entrance doors are paneled wood set behind storm doors with entrance steps of granite. Windows throughout the building are relatively recent six-over-six and eight-over-eight double hung metal replacements. The L-shape of Building #112 and its mirror-twin, #111, form a landscaped courtyard to the north. The courtyard elevations reveal that the Andes Road wing is a half-floor higher than the ell. The courtyard facades feature prominent two story wood bays topped by parapets.

**SITE LOCATION**

Building #112 is located between Andes and Carder Roads. Its site slopes down to the north, and the north ell steps down to accommodate that slope. The building serves to complete the relatively dense wall of buildings along Andes Road, and, with its mirror image Building #111, defines a relatively sheltered, pleasantly landscaped waterside park along Carder Road with sweeping views of the Hudson River, lower Manhattan, and New Jersey. Along with Buildings #111, and #114, Building #112 was used as quarters in an area where most other buildings were used as administrative offices.

**HISTORIC DEVELOPMENT**

Building #112 was constructed in 1934 to the design of the Architects Rogers and Poor. Intended as family housing for officers of the 16<sup>th</sup> Infantry, the building continued to function as officers' housing until the closing of the U.S. Coast Guard base. Building #112 is a part of the large ensemble of buildings that represent the last major military building campaign on Governors Island, and that were a part of the island-wide beautification plan initially conceived by the architectural firm of McKim, Mead, and White.



*Side Elevation*



*Rear Elevation*

#### SIGNIFICANCE

Building #112 is a Category 2 property.

The building is notable for its role in the 1930's expansion of the Island's population, as well as its link to the 16<sup>th</sup> Infantry that was stationed on the Island from 1921 until the Second World War. Along with Building #125, Buildings #111 and #112 are the only buildings in the northern part of the Island built as a part of the 1930's between-the-wars construction campaign. The particular configuration of the two buildings that defines the courtyard space recalls the design of both Building #400 and #550 and is typical of the Beaux Arts approach to urban planning.

#### WHAT IS IMPORTANT TO PRESERVE?

The exterior of Building #112 possesses much of its original appearance. The masonry walls are in good condition and largely intact. The recent re-roofing was carried out in a careful manner. The loss of the original wood windows detracts from the building's integrity.

Exterior elements of the building that should be preserved include its scale and form, its relationship to Building #111 and the courtyard created by the two structures; the Flemish bond brick walls; limestone water table; limestone entrance surrounds; cast iron lamps on pilasters; wood door surrounds; granite entrance steps; projecting two-story bays;

wood entablature; and, entrance doors. The replacement windows detract from the

There are no interior elements in the building that require preservation.

#### KEY PRESERVATION ISSUES

Building #112 is a major, imposing structure on the Island. The scale and formality of the building is important to maintain, as is the open space created by the ell configuration. Because of the visibility of the building, no above-grade additions should be placed on any facade.

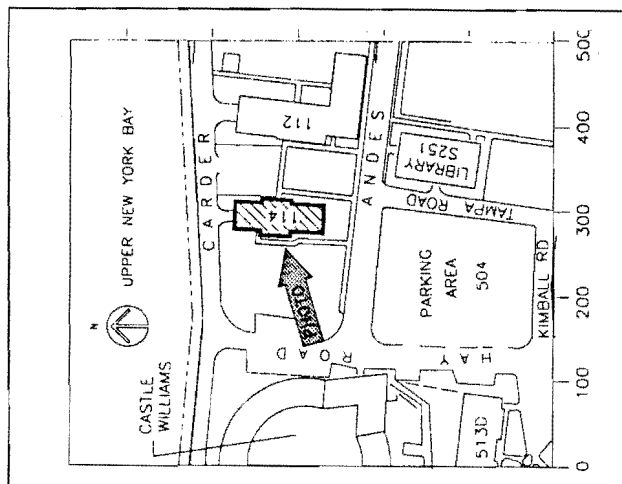
#### LANDSCAPE & SITE FEATURES

Building #112 is surrounded by paved roadways, concrete walkways and sloped grassy areas containing several mature trees. The building surrounds a small park-like space containing playground equipment and benches. The building has spectacular views of lower Manhattan. Important elements to preserve are the mature trees and landscaping, and the park-like space adjoining Building #111.

**BUILDING #114**  
**NURSES' QUARTERS**



*Front Elevation*



*Site Location Map*

**ARCHITECTURAL DESCRIPTION**

Building #114 is a rectangular-plan, two-story brick "Neo-Georgian" style building with Neo-Georgian details. It was designed by the architecture firm Rogers and Poor and constructed in 1934. The building rests on a raised limestone foundation. It has a two-and-one-half story central pavilion flanked on either side by two-story wings. The gable roof of the central pavilion is standing seam metal. The wings each have flat roofs with metal parapets. The building has two main entrances—one with limestone pediment and granite steps on the east, and another with a columned limestone porch on the west. The double-hung wood windows have eight-over-eight sash with limestone sills and brick lintels with the exception of the central windows. The central windows have are four-over-four double-hung sash.

**SITE LOCATION**

Building 114 is located adjacent to Castle Williams on the west end of the north shore of the Island, and has superb views north over the water to Manhattan. It is situated between Carder and Andes Roads. This structure is closely related to Buildings #111 and #112, also designed by architects Rogers and Poor.

**HISTORIC DEVELOPMENT**

Rogers and Poor designed Building #114 in 1934 as the nurses' quarters for the Island's hospital. Its construction was part of a major building campaign that was carried out between 1924 and 1940 to accommodate the post garrison and the 16th Infantry. Other buildings from this period include Building #s12, 111, 112, 301, 315, 324, 330, 333, 400, 515, 550, and 555. These buildings are larger in scale than most of the earlier buildings in the historic district and draw generally on the Beaux-Arts principles established by the McKim, Mead, and White's previous plans for the Island. The structures replaced temporary World War I structures that had covered much of the Island's open space.

**SIGNIFICANCE**

Building #114 is a Category 2 property.

Its neo-Georgian details, large-scale, and ordered siting are representative of the Island's last major building campaign. Just prior to the completion of the building, the Island became the home base of the First United States Army, which was considered one of the nation's most important field armies during the World War I and World War II.



*Left Front Elevation*



*Rear Elevation*

#### WHAT IS IMPORTANT TO PRESERVE?

Building #114 has experienced minimal change to the exterior and retains a high level of integrity. The interior, however, was completely gutted and remodeled c.1992, and no historic interior features remain.

Exterior elements of the building that should be preserved include its form and scale; exterior paneled doors; limestone trim and wood door surrounds; transoms; quoins at the central pavilion; wood cornice; lunette gable window; water table; and, limestone window sills and brick lintels.

There are no interior elements in the building that should be preserved.

#### KEY PRESERVATION ISSUES

Building #114 is part of a prominent grouping of structures within the Historic District and is adjacent to one of the most significant structures on the island. Its scale and basic building form are important to maintain. Because of its unique siting, above grade additions to the building are discouraged.

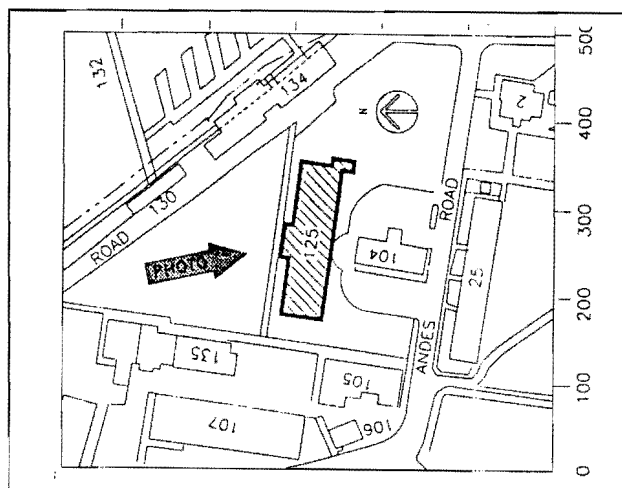
#### LANDSCAPE & SITE FEATURES

Building #114 is surrounded by paved roadways, concrete walkways and sloped grassy areas containing several mature trees. The building faces Castle Williams and has spectacular views of lower Manhattan. Mature plantings should be preserved and maintained, as should the views to and from the building.

**BUILDING #125  
PERSHING HALL**



*Front Elevation*



*Site Location Map*

**ARCHITECTURAL DESCRIPTION**

Building #125 is a large-scale, rectangular-plan "Neo-Georgian" Style building with a reinforced concrete structural system and Flemish-bond, brick veneer. It is three stories high with a central projecting gable. Two massive chimneys penetrate the main gable of the slate roof on either side of the center wing. Glass skylights are present around the perimeter of the roof. The south facade has a limestone door surround with granite steps at the main entry. Curved stairways sweep up to a loggia recessed behind three two-story arches. The north facade, facing New York Harbor, has a first-floor entrance with a rusticated limestone surround flanked by impressive wrought iron lanterns. A stone belt course separates the first and second floors. Windows are eight-over-eight double-hung windows on the first and third floors and twelve-over-twelve double-hung windows on the second floor. All have either limestone sills or surrounds.

**SITE LOCATION**

The building is located on the eastern edge of the Governors Island Historic District in the midst of the New York Arsenal buildings on the north side of Andes Road. Its hilltop site is prominent, though somewhat physically constrained, suggesting that its

location may have been predicated on the demolition of Building #104 to the south.

**HISTORIC DEVELOPMENT**

Building #125 was designed by architect Lorimer Rich to house the headquarters and administrative offices of the Second Corps Area, which was a subset of the First Army. Construction was completed in 1934. In 1954 it was rededicated as Pershing Hall to honor General John J. Pershing, First Commander of the United States Army in 1918. It continued to be in use as administrative offices even after the Coast Guard took over the Island. After 1966, it served as the headquarters of the Third District of the Coast Guard.

**SIGNIFICANCE**

Building #125 is a Category 2 property.

It was constructed as part of the Island's last major building campaign, which was carried out between 1924 and 1940. Its neo-Georgian details are representative of military architecture of the period. The building served as a high-level command center for the First United States Army from the mid-1930s through the 1950s, second only in importance to those in Washington.





*Rear Elevation*

#### WHAT IS IMPORTANT TO PRESERVE?

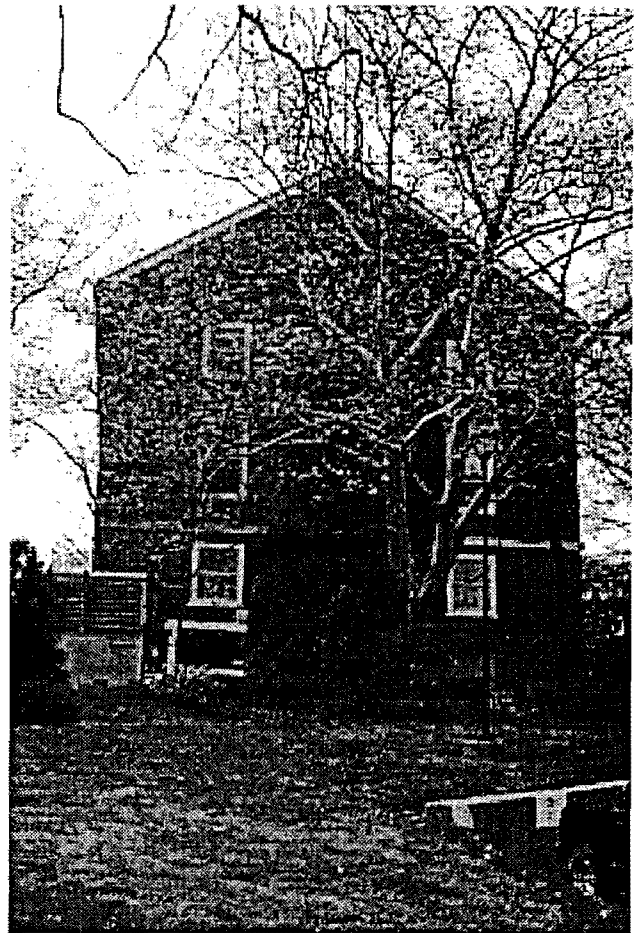
Significant exterior alterations to Building #125 include the insertion of skylights on the perimeter of the roof, insertion of glass block within lower level windows, and the transformation of one lower-level entrance into a picture window. The first and second levels of the building have been extensively remodeled leaving few historic details.

Exterior elements of the building that should be preserved include its basic form and scale; exterior masonry; recessed entry porch; split semi-circular entrance stair; limestone ornament, including door surrounds, belt course, lintels, and sills; original windows; chimneys, metal and wood cornices; and, central pediment and oculus.

Building #125 is one of three structures in the Governors Island Historic District that include interior features and details that should be preserved in place. In this building they are the 1934 WPA murals located in the second floor corridors, and the Admiral's offices and conference rooms leading directly off of those corridors.

#### KEY PRESERVATION ISSUES

The mass and scale of Building #125 is important on its site, and the selected interior ceremonial spaces on the second floor should be preserved. The 1934 WPA murals were contemporary with construction



*Side Elevation*

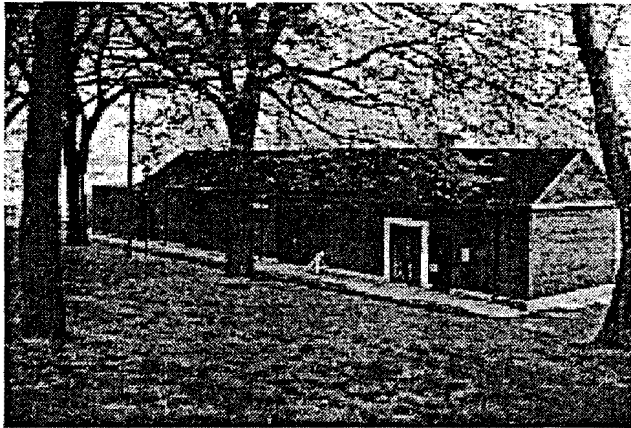
of the building, and are important illustrations of unique artwork on Army installations at the time, and on Governors Island in particular.

Because of the siting of the building, no additions should be placed on the north facade. The proximity of the building to Building #104 to the south prevents major additions from being placed there, and the exposure of the east and west ends of the building suggest that any new construction on the ends must be undertaken with great care to avoid damaging or diminishing the form and integrity of the building.

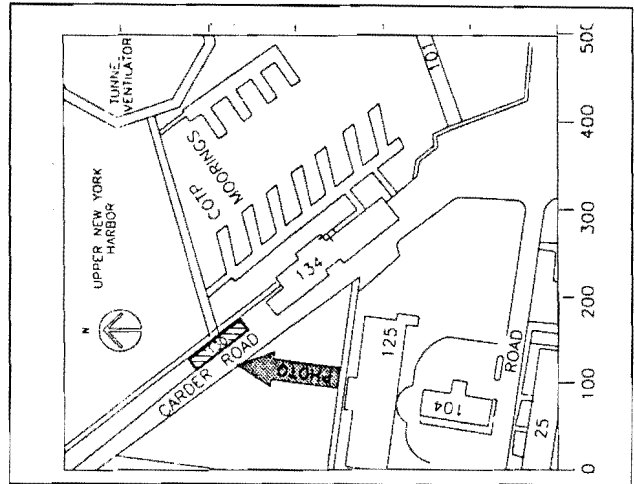
#### LANDSCAPE & SITE FEATURES

Building #125 is surrounded by asphalt paving to the south and grassy areas to the north and east. Mature trees and plantings should be preserved.

**BUILDING #130**  
**WORKSHOP**



*Front Elevation*



*Site Location Map*

**ARCHITECTURAL DESCRIPTION**

Building #130 is a long, narrow, one-story brick structure originally built in 1843 as a workshop for the New York City Arsenal and gradually expanded for use as storage and office space. The utilitarian building is masonry bearing wall construction with common bond brick walls that rest on a brick foundation. The gabled roof is sheathed with asphalt shingles. Historic additions to the building were demolished in 1971 and replaced by a modern, flat-roof extension.

**SITE LOCATION**

The building is located on the north shore within the Governors Island Historic District and has views of Manhattan and Brooklyn. It fronts on Carder Road at the COTP Moorings. The eastern end of the building connects with the access causeway that leads to the Brooklyn Battery Tunnel ventilator.

**HISTORIC DEVELOPMENT**

Building #130 is one of the few remaining structures dating to the New York Arsenal period. It was built in 1843 as a small-scale workshop and gradually expanded for storage and office use. It is a utilitarian structure with minimal architectural ornament. In 1971 extensive work was carried out on the exterior

and interior, replacing historic building additions with new masonry/metal extensions, and converting much of the interior to office space.

**SIGNIFICANCE**

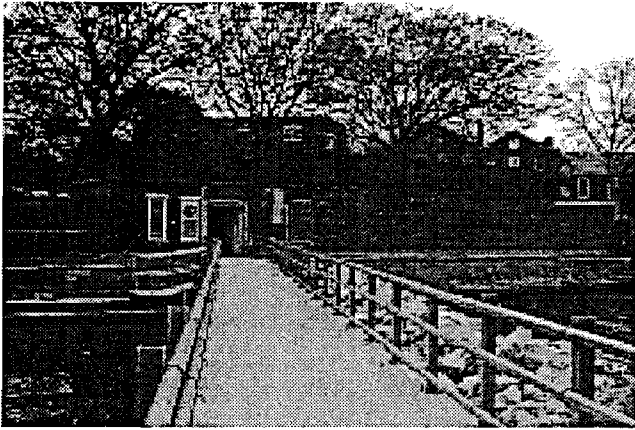
Building #130 is a Category 2 property.

The building is one of the last survivors from the New York Arsenal period of development, and is a contributing element to both the Governors Island Historic District and National Historic Landmark District.

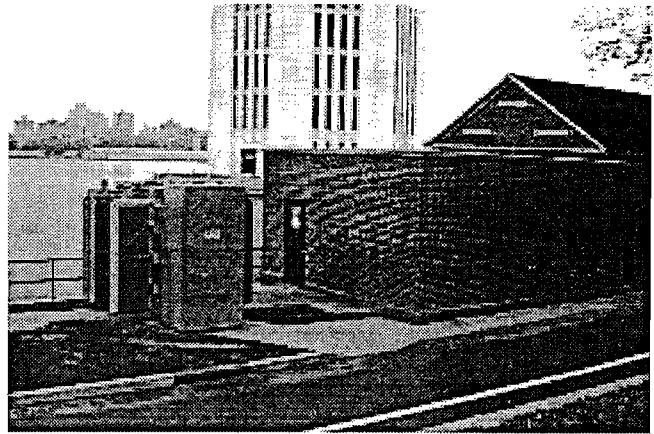
**WHAT IS IMPORTANT TO PRESERVE?**

The location and scale of the building are the most important elements remaining from its original development on the site. Significant exterior alterations to Building #130 include demolition of historic additions, construction of a large modern 1971 addition, infilling two original door openings on the west facade, and reconstruction of the south wall. The interior of the building has been stripped of historic fabric.

Exterior elements of the building that should be preserved include its form and scale; brick masonry facades, one original window and south facade cornice and pediment.



*Rear Elevation*



*Setting*

Due to the extent of numerous remodelings, there are no interior elements that should be preserved.

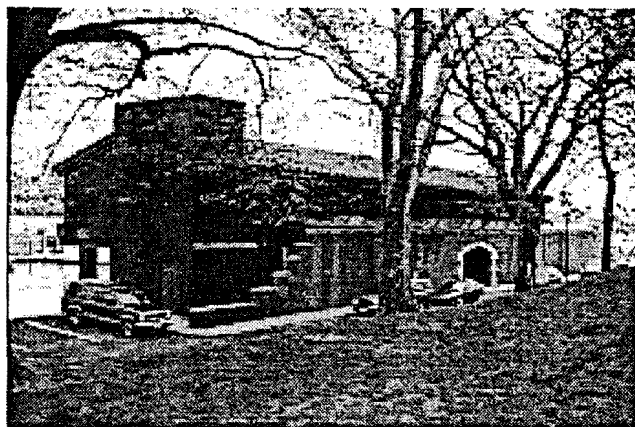
#### KEY PRESERVATION ISSUES

The siting and scale of the building, allowing the residential and more prominent structures south of the site a clear view over and beyond the building. Building 130 is part of a prominent grouping of structures within the historic district. New construction or additions affecting the exterior are discouraged. If required, limit the extent of impact to the ends of the building.

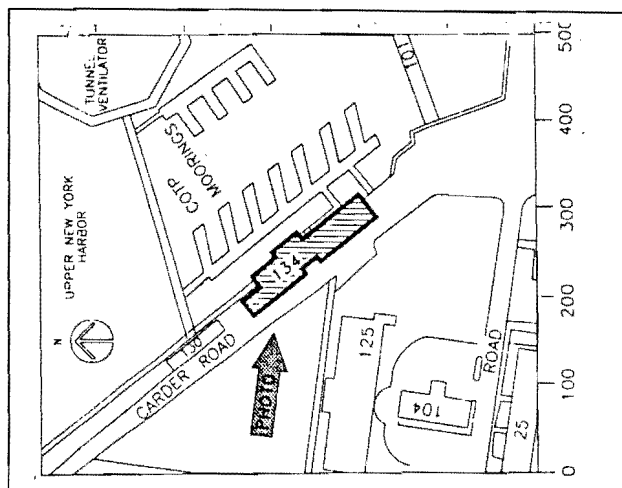
#### LANDSCAPE & SITE FEATURES

Building #130 is surrounded by asphalt paving to the south and the harbor to the north and east. There are no site features that should be preserved.

**BUILDING #134  
STATION NEW YORK**



*Front Elevation*



*Site Location Map*

**ARCHITECTURAL DESCRIPTION**

Building #134, Station New York, is a two-story rectangular steel-frame structure with a brick veneer screen wall laid in American bond and set on a concrete foundation. The gabled roof is covered with metal. The entrance has aluminum and glass doors and the windows have aluminum and glass sash. Building #134 was built in 1986 to replace several other shore facilities.

**SITE LOCATION**

The building is located at the COTP Moorings off Carder Road along the northeast shore. It faces the Brooklyn Battery Tunnel Ventilator structure.

**HISTORIC DEVELOPMENT**

Building #134 was built in 1986 to replace several other shore facilities. Other related structures are Buildings #132 and #133, as well as the mooring and docks linked to Building #134.

**SIGNIFICANCE**

Building #134 is a Category 3 property.

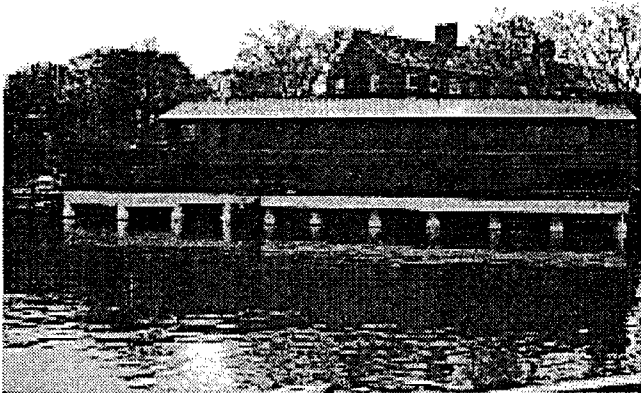
This structure is a modern building within the Governors Island Historic District. It is not listed in the National Register for Historic Places nomination, which dates from October 1984. Although its location overhanging the seawall is unusual and its design, clearly modern, its scale, materials, and quality of construction do not detract from the Historic District.

**WHAT IS IMPORTANT TO PRESERVE?**

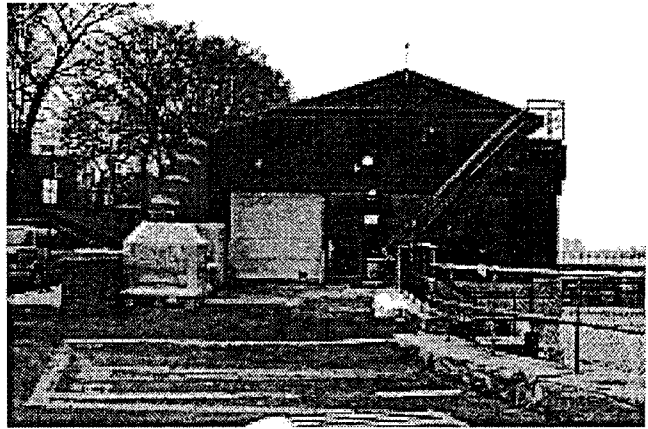
Building #134, though not historic, is a sensitively designed background structure. Although not built of compatible materials generally, a brick wall with an arched entryway screens the building from the historic buildings above. Its low profile and siting do not cause it to obstruct the views from Nolan Park. Since its construction there have been no known alterations.

**KEY PRESERVATION ISSUES**

Because this building does not contribute to the historic or architectural character or significance of the Governors Island Historic District, it may be demolished. If new construction is planned on the site it must take into consideration the viewsheds to and from Nolan Park, and the buildings directly south of Building #134.



*Rear Elevation (waterside)*



*Setting*

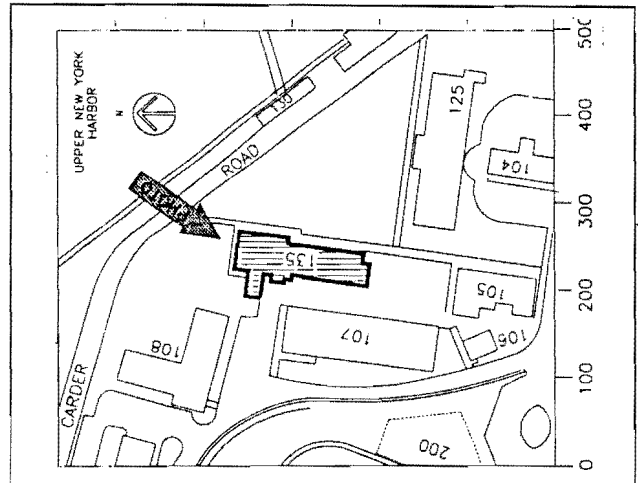
#### LANDSCAPE & SITE FEATURES

Building 134 is bordered by the harbor and the COTP Moorings adjacent to the Brooklyn Battery Tunnel Ventilator on one side and paved roadway and grassy areas on the other. The site has no significant landscape features.

**BUILDING #135  
COMMANDER'S QUARTERS**



*Front Elevation*



*Site Location Map*

**ARCHITECTURAL DESCRIPTION**

Building #135 is composed of three distinct sections set at right angles to one another— 1) a two-and-one-half-story gable roof house (1839); 2) a two-story, flat-roofed extension to that house (1852); and, 3) a three-story storehouse (c.1835).

The residence has a front-gable, asphalt shingle roof. It is masonry bearing wall construction with brick walls and foundation. Windows are six-over-six double-hung wood sash behind storm windows. Ornament includes a Greek Revival door surround enclosing wood pilasters and side lights; brownstone window lintels, sills, and string courses; lunette windows in the pediments; a 1870s wrap-around porch with a denticulated cornice on the north and east elevations; and a two-story enclosed porch on the west elevation.

The two-story extension is also brick with brownstone trim and has a paneled door with a surround of colonettes supporting an entablature.

The storehouse section has been heavily modified. The ground level is rusticated granite with arched openings; the second level brick; and the third level a modern, asphalt-covered mansard with wall dormers dating to 1977. Paired windows have six-over-six, double-hung wood sash behind storm windows. A one-story shed has been added to the south facade.

**SITE LOCATION**

It is located between Andes and Carder Roads on the north shore of the Island. It has views of Manhattan and of Buttermilk Channel that are partially obscured by the tunnel ventilator.

**HISTORIC DEVELOPMENT**

Building #135 is one of the oldest surviving buildings from the New York Arsenal period. It was constructed in 1839 as the Arsenal Commander's quarters and sited adjacent to the storehouse that had been built in 1835. The storehouse was expanded when construction began on the quarters buildings. The two structures were connected in 1852 when a two-story, intermediary extension was erected. The buildings were used as officer's quarters until the Arsenal's closure in 1920. In 1935, the army undertook major renovations of the building, enclosing the rear porch, expanding the central addition, and subdividing the residence into two family units. In 1939, the storehouse was converted to office use, which entailed replacing the roof form and altering the original window dimensions.

**SIGNIFICANCE**

Building #135 is a Category 2 property.



Rear Elevation



Setting

It is significant as the original quarters of the Commander of the New York Arsenal. It is one of the oldest surviving buildings from that period, and reflects a continuous architectural evolution.

### WHAT IS IMPORTANT TO PRESERVE?

Building #135 had been subject to many exterior alterations, some of which are now considered historic and others that are not. Alterations to the storehouse include the addition of a wood shed to the south elevation, infilling ground-level arches, addition of fire escapes, enlarging second-floor windows, and replacing the original third floor with a mansard roof. Alterations to the two-story extension include the construction of a WPA-era brick addition onto the west elevation. Alterations to the residence include the construction of the wrap around porch, enclosure of the rear porch, and the one-story addition on the west elevation. During the 1930s, the main residence was converted into two separate units, which required the addition of a kitchen and bath and the reconfiguration of the floor plan. The storehouse was completely gutted and redone. No visible historic fabric remains inside this portion of the building.

Exterior elements of the building that should be preserved include: Storehouse—exterior masonry, stone foundation with first-floor arches; House and Extension—exterior masonry, original doors, decorative

door surrounds, brownstone detailing, windows, porch with decorative ironwork, and lunette windows.

Non-contributing exterior elements that can and should be removed from the building include: Storehouse—mansard roof, shed addition, infilled arches, fire escapes, privacy fencing, HVAC equipment, wood steps, exterior lighting, alarms, storm windows, surface wiring, and parking mirrors; House and Extension—projecting rear addition, storm doors, storm windows, window air conditioners, and surface wiring.

Although there are some interesting details in the House, numerous remodelings have removed original fabric and destroyed any architectural integrity. There are no interior elements that require preservation.

### KEY PRESERVATION ISSUES

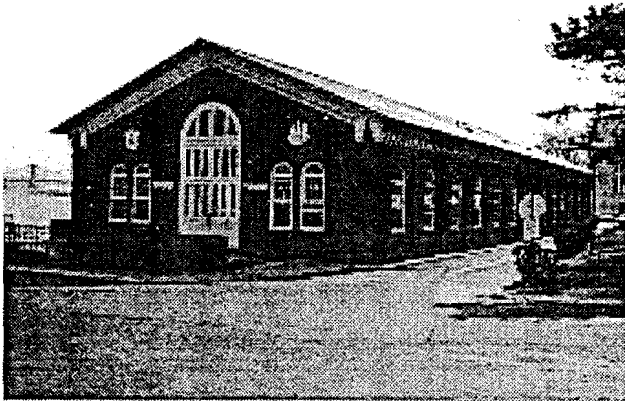
The siting and scale of the building as viewed from Carder Road is important to maintain. No addition should be placed on the north or east sides of the building.

### LANDSCAPE & SITE FEATURES

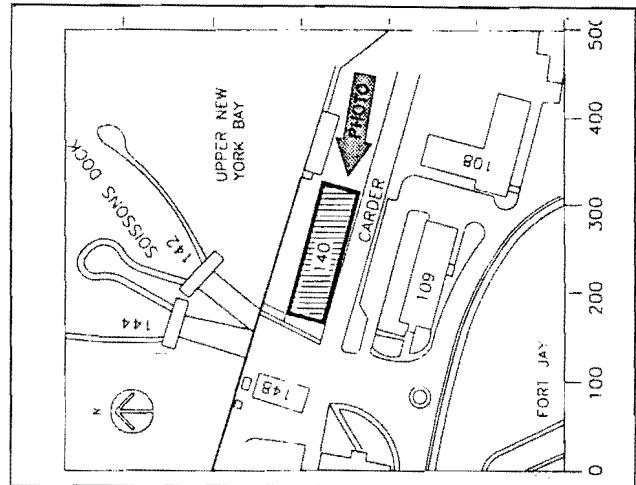
Building 135 is surrounded by asphalt paving to the south and grassy areas to the north and east. Mature trees and plantings should be preserved and maintained.



**BUILDING #140  
STOREHOUSE**



*Front Elevation*



*Site Location Map*

**ARCHITECTURAL DESCRIPTION**

Building #140 is a highly ornamented, one-story "Romanesque Revival" style building with a cross-gable, asphalt-shingle roof. It is masonry bearing wall construction with brick walls resting on a brownstone water table. It has a rectangular plan consisting of a main building intersected by a small, central wing on the north elevation. The roof has overhanging eaves with closely spaced brackets above a raking, denticulated, painted-brick cornice. The low side elevations (north and south) are divided into bays by brick pilasters with brownstone bases and capitals. Set within each bay are brick arches containing six-over-six double-hung wood windows set below arched transoms. Although pintles are present, no shutters remain. Entrances are on the east and west facades. The west approach is via a ramp, and the east approach is via steps. The paired doors are half-light with panels below and an arched transom above. Decorative panels contain War Department and Army seals on the west elevation and a star on the north elevation. Original seals have been removed from the east elevation.

**SITE LOCATION**

Building #140 is situated to the east of Soissons Dock and faces Carder Road. It is the first significant historic structure to greet visitors arriving by ferry.

Its northern windows have unobstructed views of Manhattan.

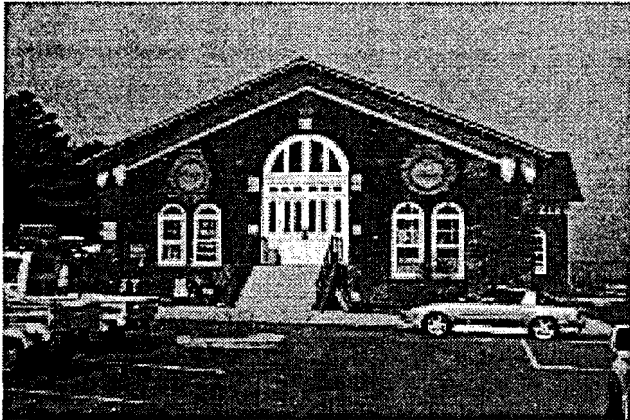
**HISTORIC DEVELOPMENT**

Like Building #110, Building #135 was constructed between 1857 and 1867 to store ordnance. Following the Civil War, it housed obsolete munitions for the New York Arsenal. After the Arsenal closed, the Second Army took over and continued to use it for storage. In recent years, the Coast Guard used the building for the Island bank, post office, and security offices.

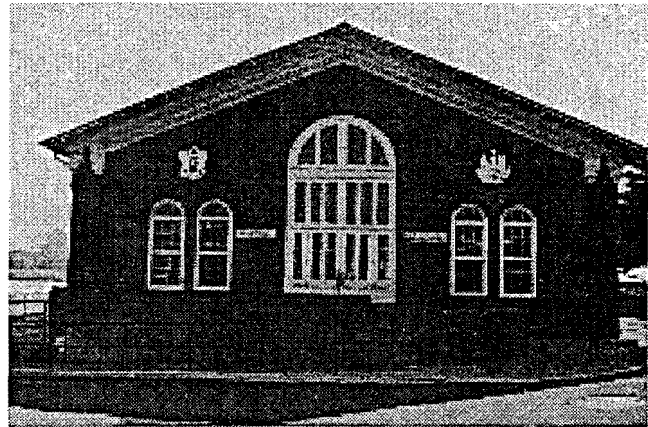
**SIGNIFICANCE**

Building #140 is a Category 2 property.

It is among the most architecturally distinguished of the New York Arsenal buildings. Due to its associations with the development of the New York Arsenal and its high-style character, Building #140 is considered a historic element to both the Governors Island Historic District and National Historic Landmark District.



*Rear Elavation*



*Side Elavation*

#### WHAT IS IMPORTANT TO PRESERVE?

Significant alterations to the exterior of Building #140 include the removal of original panel doors, removal of the north facade porch, reorientation of the building to the west, removal and later infill of original window openings, and insertion of vents in the round openings of the east facade. The entire interior of the building has been redone and all historic fabric removed. During the 1930s or 1940s basement was added beneath the eastern half of the first floor.

Exterior elements of the building that should be preserved include its form, scale, and style; brick cornice; brick pilasters; brownstone window trim and belt course; round insignia; shutter pintles; bracketed eaves; and, arched window openings.

There are no interior elements in the building that should be preserved.

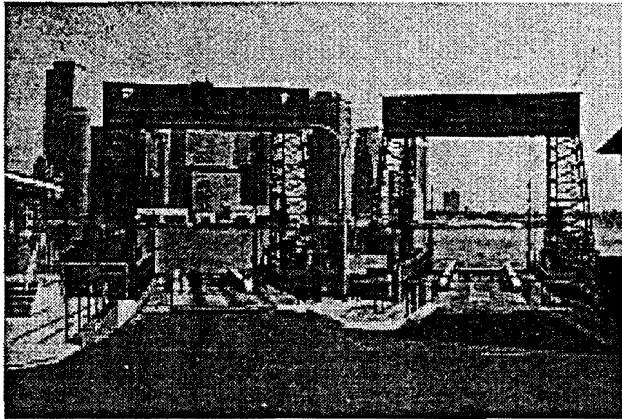
#### KEY PRESERVATION ISSUES

Because Building #140 is so prominent, it is important to preserve and maintain its architectural style and detailing. There are no suitable locations for above-grade additions to this structure.

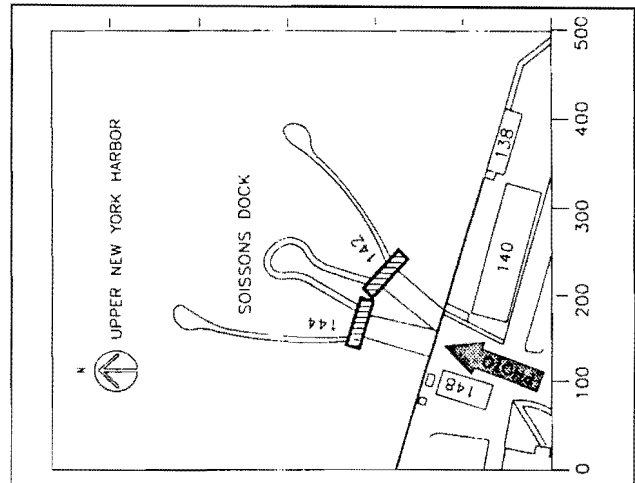
#### LANDSCAPE & SITE FEATURES

Building #140 is surrounded by asphalt paving to the south and west with some small grassy areas around its perimeter. Mature trees adjacent to the building should be preserved and maintained.

**STRUCTURES #142 & #144  
SOISSONS DOCKS**



*Front Elevation*



*Site Location Map*

**ARCHITECTURAL DESCRIPTION**

Structures #142 & #144 of Soissons Dock are ferry landings made of timber piers that have steel gantry structures at their land ends.

**SITE LOCATION**

Structures #142 & #144 are adjacent to Building #148, part of the Arsenal area, located at the intersection of Ferry Line and Carder Road along the north shore within the Governors Island Historic District.

**HISTORIC DEVELOPMENT**

Following World War I, this landing was named Soissons Dock in commemoration of the preparations of the 16<sup>th</sup> Regiment for an attack on German forces near Soissons, France, on July 18<sup>th</sup>, 1918. Structures #142 & #144 accommodate the ferries between Governors Island and the Battery Maritime Building in lower Manhattan. The present ferry slip structure dates from 1947.

**SIGNIFICANCE**

Structures #142 & #144 are Category 3 properties.

The structures are culturally significant to the history of Governors Island for its accommodation of permanent Army-operated ferry service that was established between Governors Island and Manhattan during the tenure of General Winfield Scott Hancock. Following World War I, this landing was named Soissons Dock in commemoration of the preparations of the 16<sup>th</sup> Regiment for an attack on German forces near Soissons, France. The structures are unusual examples of mid-Twentieth century "industrial" technology. This structures are within the New York City Governors Island Historic District.

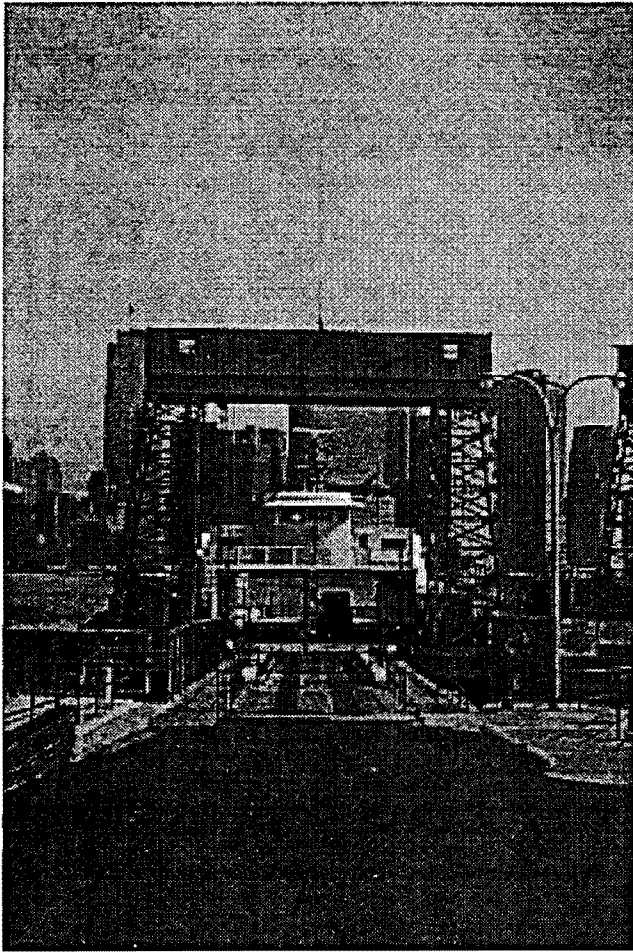
**WHAT IS IMPORTANT TO PRESERVE?**

These structures are substantially original. As an industrial-type structure, it is composed of heavy timber, steel beams, and a utilitarian sheet-metal enclosure.

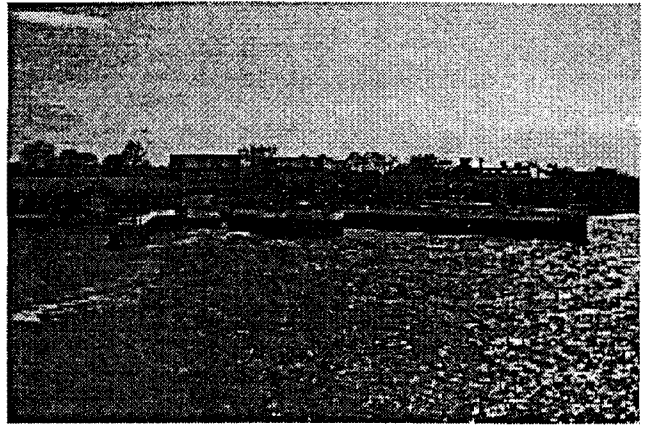
Because the structures do not contribute to the historic district, they are eligible for demolition.

**LANDSCAPE & SITE FEATURES**

Structures #142 and #144 is surrounded by the harbor on all sides except where the roadway abuts. The site has no significant landscape features.

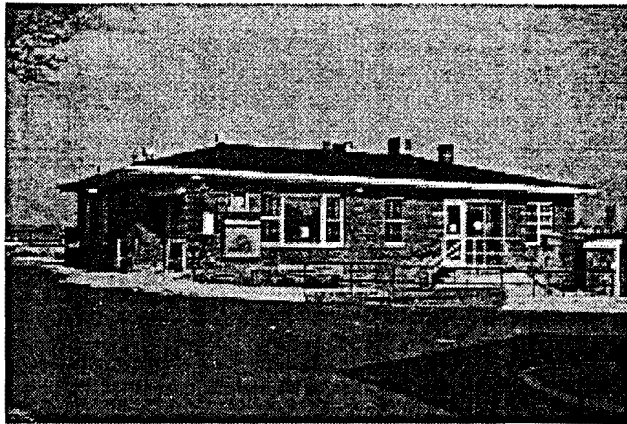


#144

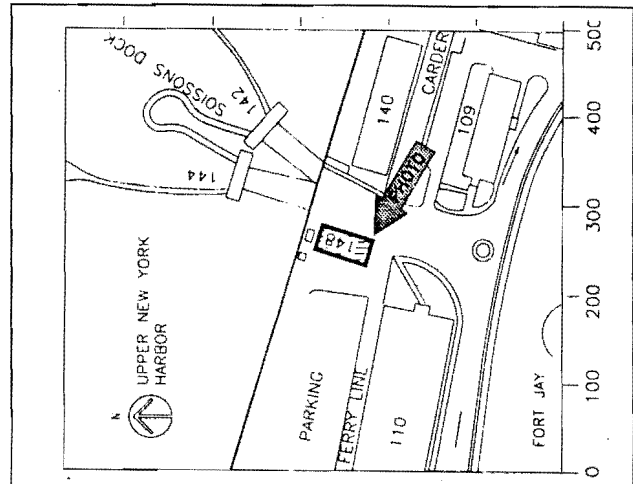


*Setting*

**BUILDING #148**  
**FERRY WAITING BUILDING**



Front Elevation



Site Location Map

**ARCHITECTURAL DESCRIPTION**

Building #148 is a one-story rectangular structure of red brick, laid up in common bond, and built on a brick foundation marked by header courses. Brick quoins accent the corners. The window openings have splayed brick lintels and brick header sills. Glass block has been placed in some of the window openings while others have six-over-six double-hung wood sash set behind storm sash. The hipped roof is covered by asphalt shingles and has a prominent ventilator. The entrance doors, picture windows, and concrete steps are of relatively recent date.

**SITE LOCATION**

Building #148, part of the Arsenal area, is located at the intersection of Ferry Line and Carder Road. It is near the Soissons Dock ferry landing on the north side of Fort Jay within the Governors Island Historic District.

**HISTORIC DEVELOPMENT**

The building was constructed in 1917 to provide waiting facilities for the ferry service. It has recently undergone major alterations including a new entrance on the east side with a large concrete

landing and steps; concrete windows and doors; a clock window on southeast corner of the east facade; a handicap access ramp at southeast corner; and windows on south facade infilled with glass block.

**SIGNIFICANCE**

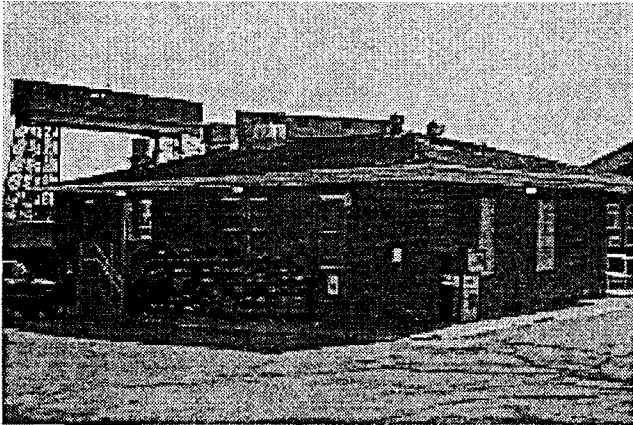
Building #148 is a Category 2 property.

This structure is within the New York City Governors Island Historic District. It is listed as a contributing element in the National Historic Landmark designation of the Island.

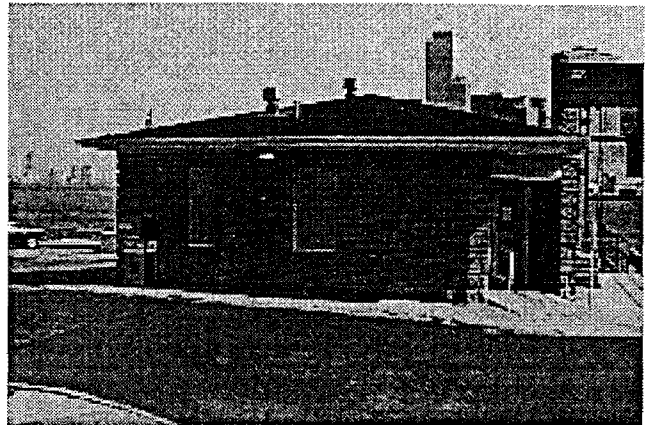
**WHAT IS IMPORTANT TO PRESERVE?**

Building #148 has not retained much of its original material and appearance, except for its exterior decorative brick work and the roofline. Relatively recently a new entrance was created on the east side of the building with a large concrete landing and steps, new concrete windows and doors. A clock window on the southeast corner of the east facade, a handicap access ramp at the southeast corner, windows on the south facade infilled with glass block, and a picture window on the east facade all detract from its integrity. A complete reworking of the interior has left no visible historic fabric.

## *Governors Island Historic District*



*Rear Elevation*



*Side Elevation*

Exterior elements of the building that should be preserved include the decorative brick work, quoins and soldier course at water table.

There are no interior elements in the building that should be preserved.

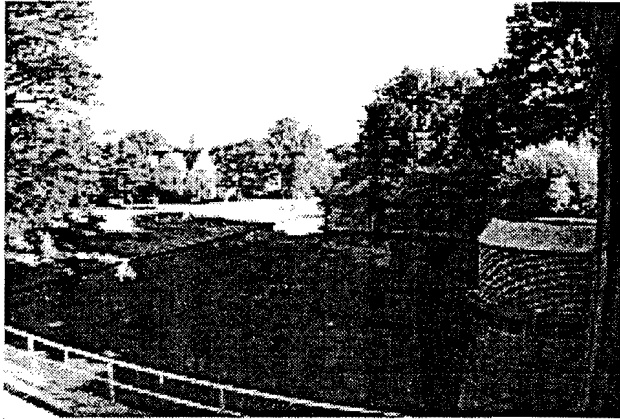
### **KEY PRESERVATION ISSUES**

Because building #148 has lost a significant amount of its architectural and historical integrity, it is eligible for demolition. The parking area adjacent to this structure behind Building #110 has been designated as a possible site for new construction.

### **LANDSCAPE & SITE FEATURES**

Building #148 is surrounded by asphalt on all sides and has no significant landscape and site features.

**BUILDING #201  
FORT JAY**



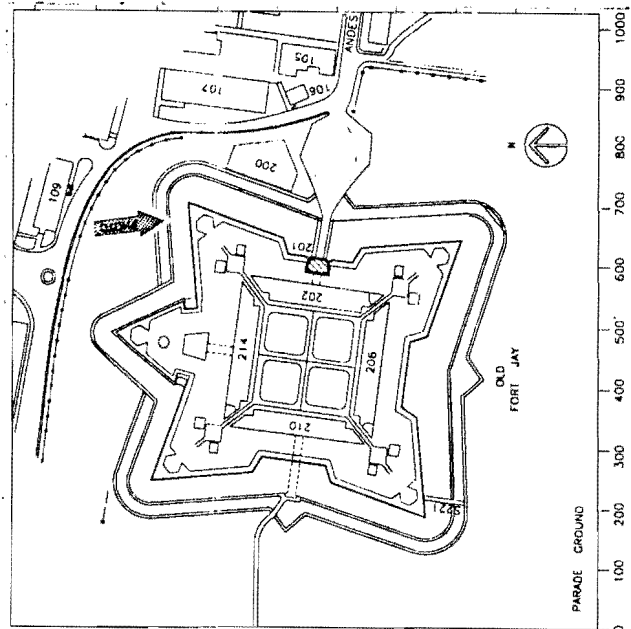
*Ft. Jay*

**ARCHITECTURAL DESCRIPTION**

Building #201, Fort Jay, is one of the most significant structures on Governors Island. An enclosed second system square fortification with four bastions (projecting corners) and a ravelin (projecting ram-part) surrounded by a dry moat, Fort Jay dominates the island and is one of the best preserved and largest fortification of its type in the nation. Less a building than an extraordinary landscape feature with a gate, the fort sits partially submerged at the top of a smooth grassy slope known as a "glacis". The scarp walls are dressed granite ashlar surmounted by a projecting granite cordon and a brick parapet. Inside the bastion walls the entry gate is of red sandstone. Above the gate is a large and elaborate sandstone sculpture of an eagle with military symbols. The moat walls are of red sandstone with a top course of bluestone. The counterscarp walls are of brick. The quadrangle inside the walls was used a parade ground, but now it is surrounded by four barracks buildings that have been converted for family housing.

**SITE LOCATION**

Fort Jay is at the center and the high point of the Island affording it a commanding, if low profile, presence. Its main entrance is connected directly via Andes Road to the main piers on Buttermilk Chan-

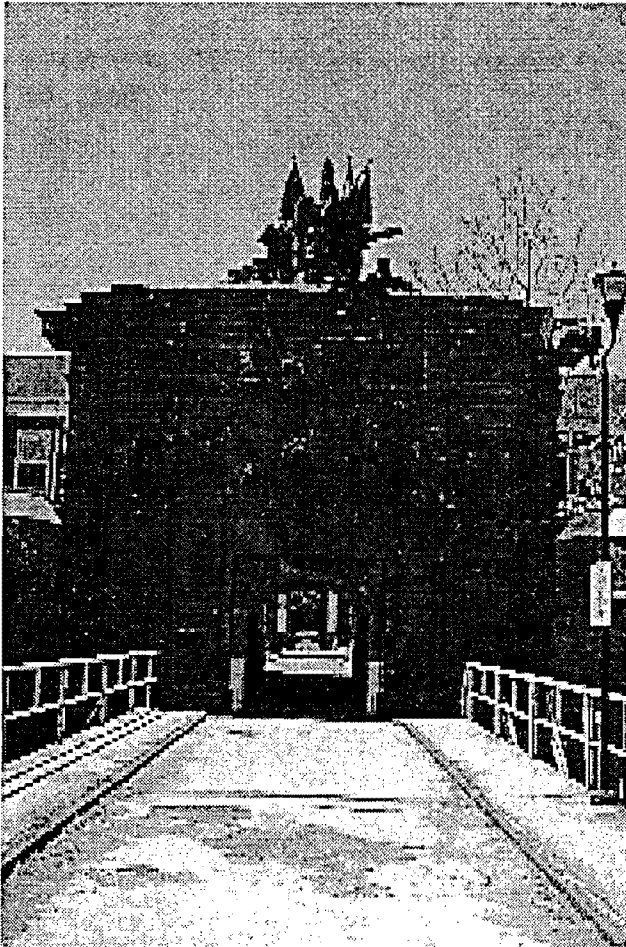


nel within the Governors Island Historic District. It is surrounded by a sylvan nine-hole golf course, a feature that helps to retain some of the Fort's historic setting as an isolated fortification with clear views in all directions.

**HISTORIC DEVELOPMENT**

The current configuration of Fort Jay dates back to 1806-1809, when it replaced the original earthwork Fort Jay (1794-96). The new Fort was called Fort Columbus because Secretary of Foreign Affairs John Jay had fallen out of favor for conducting treaty negotiations with the British. Built as a part of a Second American System of fortifications protecting the coast against naval attack, particularly from Great Britain, Fort Jay was considered absolutely critical in protecting New York Harbor. The fortifications of the Second American System were the first to be supervised by an American, French engineers having supervised previous defense efforts. Lt. Colonel Jonathan Williams was trained in the U.S., but was familiar with French designs. The new structure was capable of mounting 104 guns. The Fort never saw military action, and, beginning in 1834, became the site of military barracks for troops garrisoned on the island.





Entrance to Fort Jay

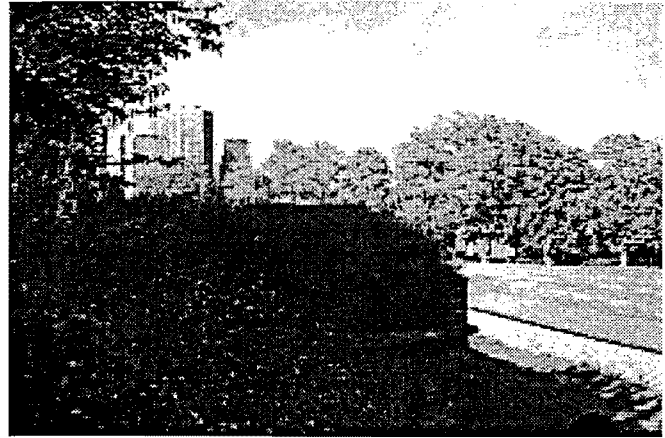
### SIGNIFICANCE

Fort Jay is a Category 1 property.

It is extremely significant to the history of Governors Island, representing the earliest surviving fortification on the island. As an example of a Second American System Fortification in a high state of preservation, Fort Jay is of national significance. Fort Jay is individually listed in the National Register of Historic Places, and was designated an individual New York City Landmark on September 19, 1967.

### WHAT IS IMPORTANT TO PRESERVE?

Fort Jay maintains much of the character of its original setting at the top of a clear gradual slope. The impressive earthworks, walls, and ramparts of the Fort attest to the careful thought and work that was put into one of the country's earliest defensive systems. The gatehouse includes the remains of the original drawbridge and gate.



Setting

Exterior elements of the Fort that should be preserved include all elements of the exterior of the Fort—the masonry walls at the scarp and counterscarp; the “glacis”; the moat; the gatehouse with sculpture above; and, the gun mounts along the ramparts.

### KEY PRESERVATION ISSUES

The form, scale, and setting of the Fort are critical to understanding its history and use. The remaining “glacis” surrounding the Fort is important in understanding how the Fort functioned. These are critical elements that should be preserved and maintained.

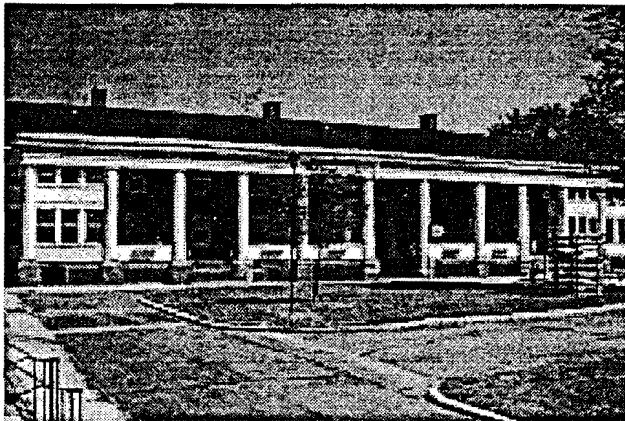
Because of the historic and architectural significance of Fort Jay, above-grade additions of new construction around the building is not permitted.

For information on treatment of the Fort interior, refer to summary sheets on Buildings #202, #206, #208, and #214.

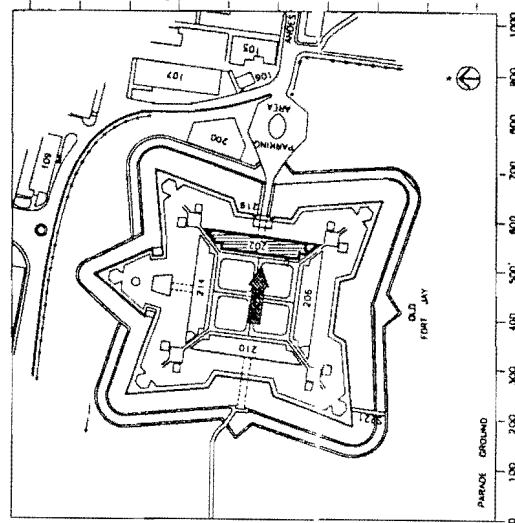
### LANDSCAPE & SITE FEATURES

Fort Jay is surrounded by the parade ground. The open landscape is an important feature to preserve and maintain. No trees or other plantings should be placed in this area. See the summary sheet on the “Glacis” for further guidance.

**BUILDING #202  
FORT JAY FAMILY HOUSING**



*Front Elevation*



*Site Location Map*

**ARCHITECTURAL DESCRIPTION**

Buildings #202, #206, #210 and #214 comprise the Fort Jay Family Housing. Located inside the Fort Jay walls, these four structures form the interior quadrangle in the center of the fort. Rectangular in plan and constructed of brick on a granite and sandstone foundation, these Greek Revival buildings are topped with hipped roofs with white-painted cornices. The two-story portico, consisting of twelve brownstone (now painted) Doric columns, faces the interior courtyard. Although the buildings have suffered several alterations, the overall character of the 19th century quadrangle is well preserved.

**SITE LOCATION**

Building #202 dates to 1836 and was originally constructed as one of four barracks to house the troops garrisoned at Fort Columbus at a time when the Island's military importance, and population, was growing. In 1920, changes were made to the basement level of the building, and in 1934 the end bays of the porch were enclosed. Building #202 has been in continuous use as housing for officers or enlisted men, and, most recently, served as family housing for Coast Guard personnel.

**HISTORIC DEVELOPMENT**

Building #202, along with Buildings #206, #210, and #214 were constructed between 1834 and 1836 to house the garrison headquartered on the Island. The construction of these barracks reflects the change in use of the Fort in the first half of the nineteenth century. Developing technology rendered the masonry fort obsolete, but the strategic importance of the Island made it well suited to house the Federal military headquarters (1821) and the New York Arsenal (1833). The barracks were the first of many new structures built to accommodate the needs of the garrison. In the 1860s the iron balconies were added to the second floor on the courtyard side. When the Coast Guard took possession of the Island in the twentieth century, the barracks were designated for use as officer family housing.

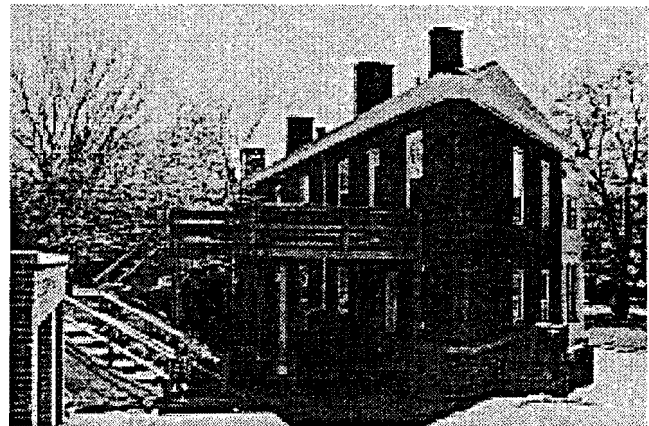
**SIGNIFICANCE**

Building #202 is a Category 1 property.

The building is individually listed as a New York City Landmark and on the National Register of Historic Places. The collection of four barracks reflects the general change in fort use and construction and the particular military change in use of the Island during the 1820s, 1830s and 1840s.



*Rear Elevation*



*Side Elevation*

#### WHAT IS IMPORTANT TO PRESERVE?

Numerous alterations have been made over time to accommodate the different needs of the different groups who occupied the structure. However, most of the alterations affected the interior of the building. Although the porch bays have been enclosed, the primary character-defining elements of the exterior are intact.

Exterior elements of the building that should be preserved include its form and scale; roof line; masonry walls; two-story columns; iron porch railing; second floor balcony with railings; arched opening/vaults through center of building; entrance doors with transoms; wood cornice; and, wood windows.

Due to numerous remodelings, there are no interior elements in the building that require preservation.

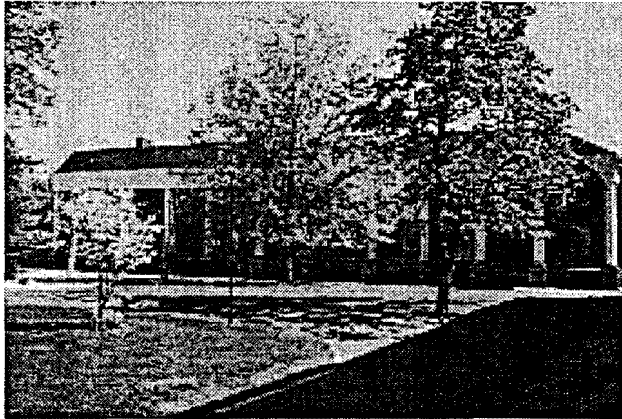
#### KEY PRESERVATION ISSUES

Building #202 is an important part of Fort Jay and, as such, its architectural character and style are critical elements to preserve. The enclosure formed by the barracks building maintains a courtyard and assembly area consistent with the original defensive fort. Because of its prominence, no above-grade additions should be placed on the courtyard facade or sides of Building #202.

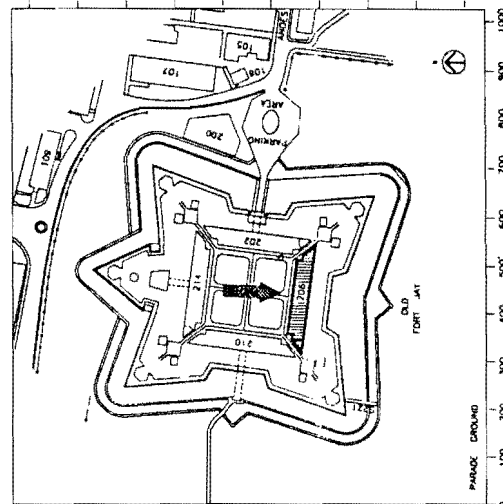
#### LANDSCAPE & SITE FEATURES

The interior court of Fort Jay is composed of paved driveways and walkways and small grassy areas with mature trees. The area between the residences and the outer walls is filled with sloped grassy areas and mature trees. The sloped grass areas and mature trees should be preserved and maintained.

**BUILDING #206  
FORT JAY FAMILY HOUSING**



*Front Elevation*



*Site Location Map*

**ARCHITECTURAL DESCRIPTION**

Buildings #206, #202, #210 and #214 comprise the Fort Jay Family Housing. Located inside the Fort Jay walls, these four structures form the interior quadrangle in the center of the fort. Rectangular in plan and constructed of brick on a granite and sandstone foundation, these Greek Revival buildings are topped with hipped roofs with white-painted cornices. The two-story portico, consisting of twelve brownstone (now painted) Doric columns, faces the interior courtyard. Although the buildings have suffered several alterations, the overall character of the 19th century quadrangle is well preserved.

**SITE LOCATION**

Building #206 encloses the southern end of the courtyard inside Fort Jay.

**HISTORIC DEVELOPMENT**

Building #206, along with Buildings #202, #210, and #214 were constructed between 1834 and 1836 to house the garrison headquartered on the Island. The construction of these barracks reflects the change in use of the Fort in the first half of the nineteenth century. Developing technology rendered the

masonry fort obsolete, but the strategic importance of the Island made it well suited to house the Federal military headquarters (1821) and the New York Arsenal (1833). The barracks were the first of many new structures built to accommodate the needs of the garrison. In the 1860s the iron balconies were added to the second floor on the courtyard side. When the Coast Guard took possession of the Island in the twentieth century, the barracks were designated for use as officer family housing.

**SIGNIFICANCE**

Building #206 is a Category 1 property.

The building is individually listed as a New York City Landmark and on the National Register of Historic Places. The collection of four barracks reflects the general change in fort use and construction and the particular military change in use of the Island during the 1820s, 1830s and 1840s. These buildings have been in continuous use as residences since construction.

**WHAT IS IMPORTANT TO PRESERVE?**

Numerous alterations have been made over time to accommodate the different needs of the different



*Rear Elevation*

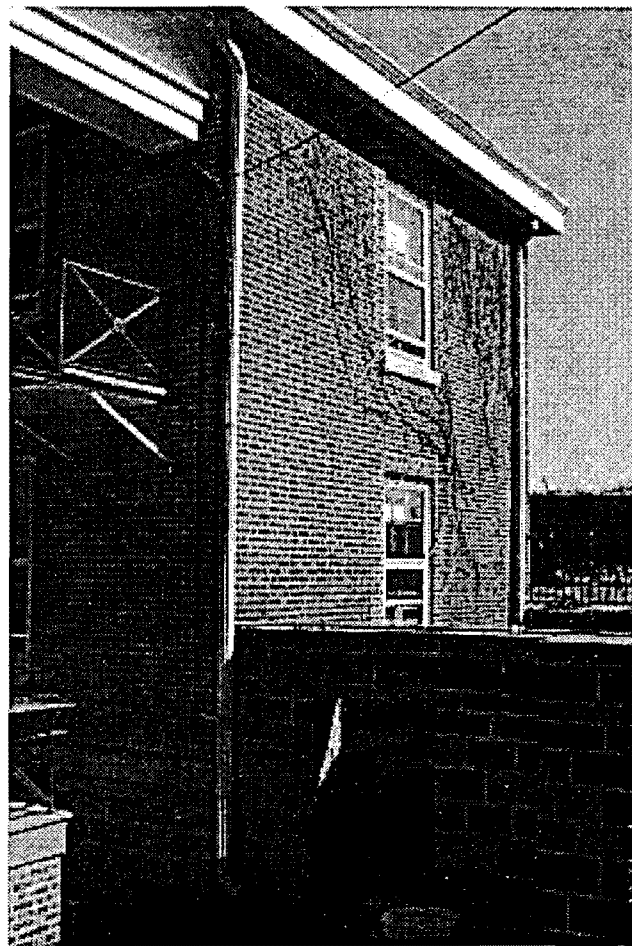
groups who occupied the structure. However, most of the alterations affected the interior of the building. Although the vaulted carriageway that passed through the center of the building was closed, the primary character-defining elements of the exterior are intact.

Exterior elements of the building that should be preserved include its form and scale; roof line; masonry walls; two-story columns; iron porch railing; second floor balcony with railings; arched opening/vaults through center of building; entrance doors with transoms; wood cornice; and, wood windows.

Due to numerous remodelings, there are no interior elements in the building that require preservation.

#### **KEY PRESERVATION ISSUES**

Building #206 is an important part of Fort Jay and, as such, its architectural character and style are critical elements to preserve. The enclosure formed by the barracks building maintains a courtyard and assembly area consistent with the original defensive fort. Because of its prominence, no above-grade additions should be placed on the courtyard facade or sides of Building #206.

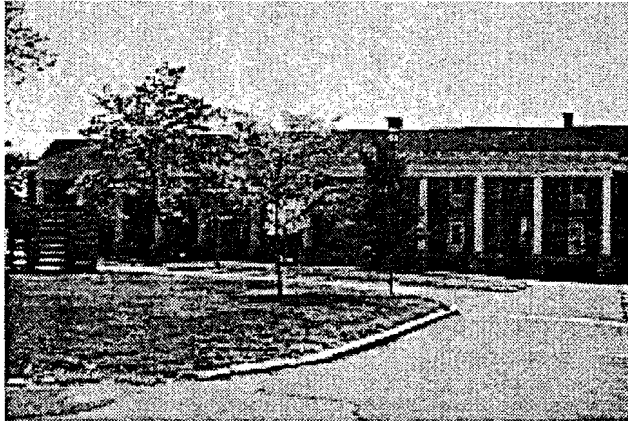


*End Elevation*

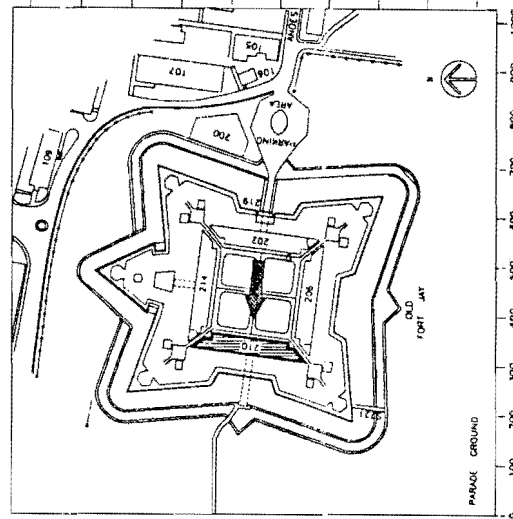
#### **LANDSCAPE & SITE FEATURES**

The interior court of Fort Jay is composed of paved driveways and walkways and small grassy areas with mature trees. The area between the residences and the outer walls is filled with sloped grassy areas and mature trees. The sloped grass areas and mature trees should be preserved and maintained.

**BUILDING #210  
FORT JAY FAMILY HOUSING**



*Front Elevation*



*Site Location Map*

**ARCHITECTURAL DESCRIPTION**

Buildings #210, #202, #206 and #214 comprise the Fort Jay Family Housing. Located inside the Fort Jay walls, these four structures form the interior quadrangle in the center of the fort. Rectangular in plan and constructed of brick on a granite and sandstone foundation, these Greek Revival buildings are topped with hipped roofs with white-painted cornices. The two-story portico, consisting of twelve brownstone (now painted) Doric columns, faces the interior courtyard. Although the buildings have suffered several alterations, the overall character of the 19th century quadrangle is well preserved.

**SITE LOCATION**

Building #210 encloses the west side of the courtyard inside Fort Jay.

**HISTORIC DEVELOPMENT**

Building #210, along with Buildings #202, #206, and #214 were constructed between 1834 and 1836 to house the garrison headquartered on the Island. The construction of these barracks reflects the change in use of the Fort in the first half of the nineteenth century. Developing technology rendered the

masonry fort obsolete, but the strategic importance of the Island made it well suited to house the Federal military headquarters (1821) and the New York Arsenal (1833). The barracks were the first of many new structures built to accommodate the needs of the garrison. In the 1860s the iron balconies were added to the second floor on the courtyard side. When the Coast Guard took possession of the Island in the twentieth century, the barracks were designated for use as officer family housing.

**SIGNIFICANCE**

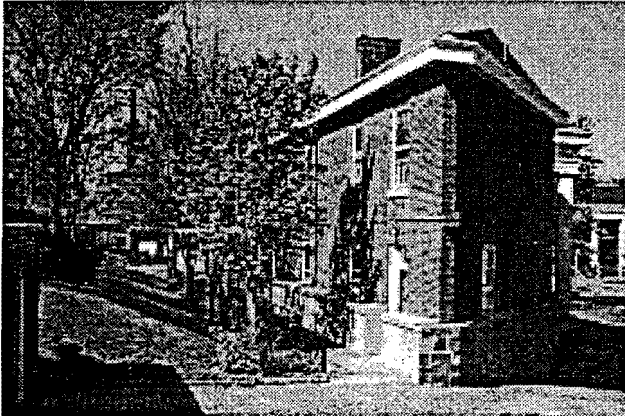
Building #210 is a Category 1 property.

The building is individually listed as a New York City Landmark and on the National Register of Historic Places. The collection of four barracks reflects the general change in fort use and construction and the particular military change in use of the Island during the 1820s, 1830s and 1840s. These buildings have been in continuous use as residences since construction.

**WHAT IS IMPORTANT TO PRESERVE?**

Numerous alterations have been made over time to accommodate the different needs of the different





*Rear Elevation*

groups who occupied the structure. However, most of the alterations affected the interior of the building. The primary character-defining elements of the exterior are intact.

Exterior elements of the building that should be preserved include its form and scale; roof line; masonry walls; two-story columns; iron porch railing; second floor balcony with railings; arched opening / vaults through center of building; entrance doors with transoms; wood cornice; and, wood windows.

Due to numerous remodelings, there are no interior elements in the building that require preservation.

### KEY PRESERVATION ISSUES

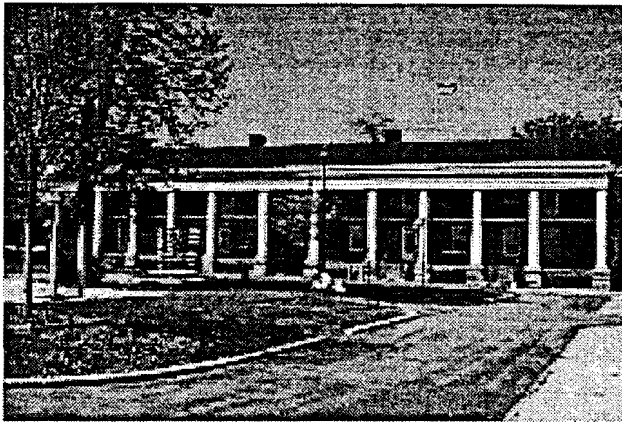
Building #210 is an important part of Fort Jay and, as such, its architectural character and style are critical elements to preserve. The enclosure formed by the barracks building maintains a courtyard and assembly area consistent with the original defensive fort. Because of its prominence, no above-grade additions should be placed on the courtyard facade or sides of Building #210.

### LANDSCAPE & SITE FEATURES

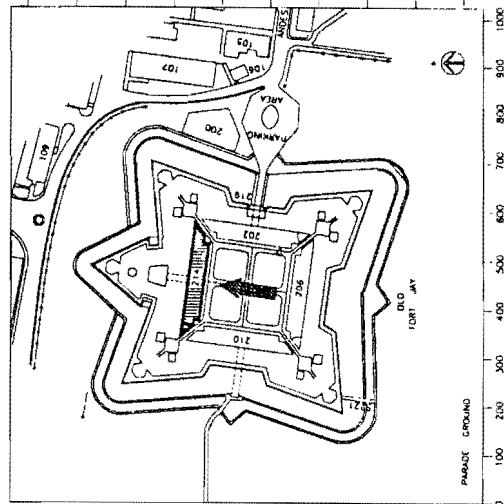
The interior court of Fort Jay is composed of paved driveways and walkways and small grassy areas with mature trees. The area between the residences and the outer walls is filled with sloped grassy areas and mature trees. The sloped grass areas and mature trees should be preserved and maintained.



**BUILDING #214  
FORT JAY FAMILY HOUSING**



*Front Elevation*



*Site Location Map*

**ARCHITECTURAL DESCRIPTION**

Buildings #214, #202, #206 and #210 comprise the Fort Jay Family Housing. Located inside the Fort Jay walls, these four structures form the interior quadrangle in the center of the fort. Rectangular in plan and constructed of brick on a granite and sandstone foundation, these Greek Revival buildings are topped with hipped roofs with white-painted cornices. The two-story portico, consisting of twelve brownstone (now painted) Doric columns, faces the interior courtyard. Although the buildings have suffered several alterations, the overall character of the 19th century quadrangle is well preserved.

**SITE LOCATION**

Building #214 encloses the north end of the courtyard inside Fort Jay.

**HISTORIC DEVELOPMENT**

Building #214, along with Buildings #202, #206, and #210 were constructed between 1834 and 1836 to house the garrison headquartered on the Island. The construction of these barracks reflects the change in use of the Fort in the first half of the nineteenth century. Developing technology rendered the

masonry fort obsolete, but the strategic importance of the Island made it well suited to house the Federal military headquarters (1821) and the New York Arsenal (1833). The barracks were the first of many new structures built to accommodate the needs of the garrison. In the 1860s the iron balconies were added to the second floor on the courtyard side. When the Coast Guard took possession of the Island in the twentieth century, the barracks were designated for use as officer family housing.

**SIGNIFICANCE**

Building #214 is a Category 1 property.

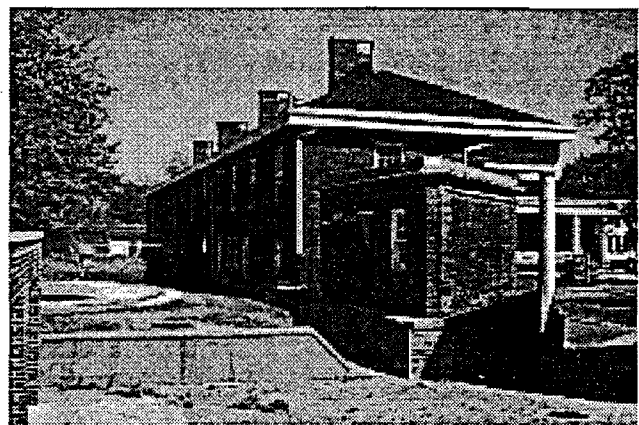
The building is individually listed as a New York City Landmark and on the National Register of Historic Places. The collection of four barracks reflects the general change in fort use and construction and the particular military change in use of the Island during the 1820s, 1830s and 1840s. These buildings have been in continuous use as residences since construction.

**WHAT IS IMPORTANT TO PRESERVE?**

Numerous alterations have been made over time to accommodate the different needs of the different



*Rear Elevation*



*Setting*

groups who occupied the structure. However, most of the alterations affected the interior of the building. The primary character-defining elements of the exterior are intact.

Exterior elements of the building that should be preserved include its form and scale; roof line; masonry walls; two-story columns; iron porch railing; second floor balcony with railings; arched opening/vaults through center of building; entrance doors with transoms; wood cornice; and, wood windows.

Due to numerous remodelings, there are no interior elements in the building that require preservation.

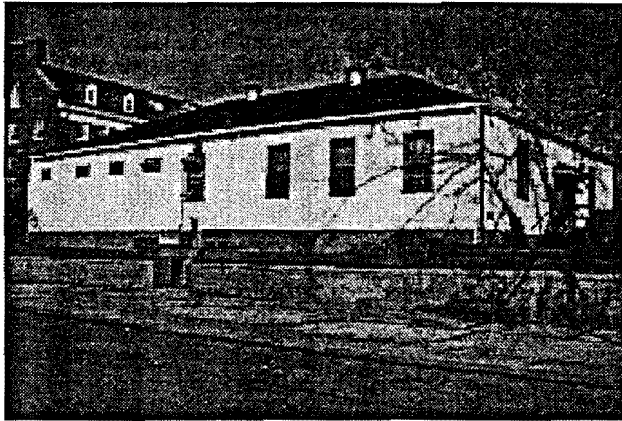
#### KEY PRESERVATION ISSUES

Building #214 is an important part of Fort Jay and, as such, its architectural character and style are critical elements to preserve. The enclosure formed by the barracks building maintains a courtyard and assembly area consistent with the original defensive fort. Because of its prominence, no above-grade additions should be placed on the courtyard facade or sides of Building #214.

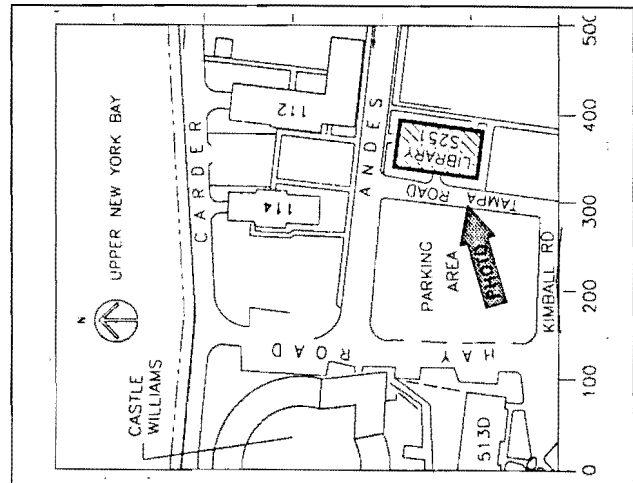
#### LANDSCAPE & SITE FEATURES

The interior court of Fort Jay is composed of paved driveways and walkways and small grassy areas with mature trees. The area between the residences and the outer walls is filled with sloped grassy areas and mature trees. The sloped grass areas and mature trees should be preserved and maintained.

**BUILDING #251  
TAMPA MEMORIAL LIBRARY**



*Front Elevation*



*Site Location Map*

**ARCHITECTURAL DESCRIPTION**

Building #251, known as the "Tampa Memorial Library", is a one-story wood frame utilitarian structure set on a painted, brick masonry foundation and under a hipped roof. The northern half of the building is clad in asbestos shingles and contains small clerestory windows, while the southern half is clad in aluminum siding and has large, eight-over-eight double-hung windows. There are entrances in the northern and southern ends of the building.

**SITE LOCATION**

The Library is located at the southeastern corner of Tampa Road and Andes Road and east of Castle Williams. It stands in the line of sight between Castle Williams and Fort Jay, which for defensive purposes was intended to be kept clear. The site, east of a large parking lot, is sparsely vegetated and barren.

**HISTORIC DEVELOPMENT**

Building #251 was built in 1908 as a temporary storehouse and workshop for the Fort Jay Quartermaster. Most recently, the structure housed the Tampa Memorial Library. It was named to commemorate the sinking of the U.S.S. Tampa battleship in 1918.

**SIGNIFICANCE**

Building #251 is a Category 3 property.

The building is not a particularly historic or architecturally significant structure. It was constructed to serve a utilitarian purpose without conforming to any major stylistic or architectural trends of the period.

**WHAT IS IMPORTANT TO PRESERVE?**

Because numerous modifications have destroyed any historic or architectural integrity of the building, there are no elements of this building that require preservation. This building may be demolished.

**KEY PRESERVATION ISSUES**

Because of the proximity of this site to Castle Williams, if Building #251 is demolished, the site is not suitable for new construction.

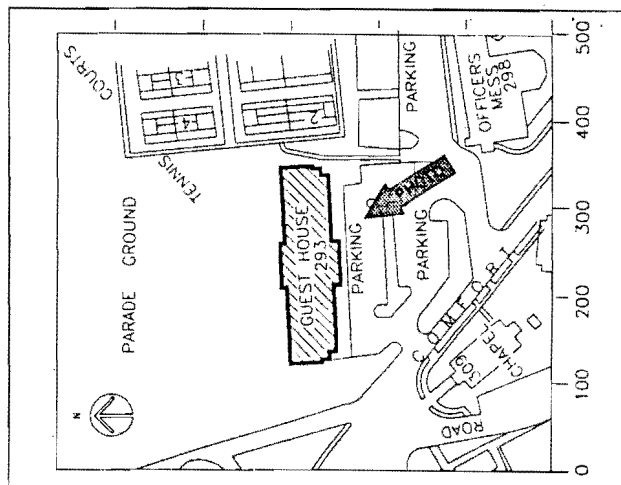
**LANDSCAPE & SITE FEATURES**

This building is surrounded by paved parking lots. There are no site features which should be preserved.

**BUILDING #293**  
**MOTEL/GUEST HOUSE**



*Front Elevation*



*Site Location Map*

**ARCHITECTURAL DESCRIPTION**

Building #293 is a modern (c.1986) two-story brick building with a black asphalt-shingle gable roof. Windows occur in pairs and consist of insulated, double-hung aluminum sash with snap-in mullions that create an eight-over-eight appearance. Vents occur beneath each window opening. A pedimented, full height portico with four Doric columns is located at the center of the south and north elevations.

**SITE LOCATION**

The building faces Comfort Road and is east of Barry Road. It is prominently located at the southern terminus of the main parade ground between Nolan Park and Colonel's Row.

**HISTORIC DEVELOPMENT**

Building #293 was used as a motel and guesthouse for visitors to Governors Island from its construction in 1986 to 1997. It replaced a one-and-a-half story frame structure built as quarters for officers of the Quartermaster Corps c.1871-72. The parking lot in front of Building #293 was the site of the Fort Columbus cemetery. The bodies were removed to Cypress Hills Cemetery, Queens, in 1889 as the post was expanding and constructing new buildings.

**SIGNIFICANCE**

Building #293 is a Category 4 property.

Although the building is not historic, its site is very prominent, impacting three of the most significant areas on the island and defining one edge of the largest open space.

**WHAT IS IMPORTANT TO PRESERVE?**

There are no elements of this building that should be preserved.

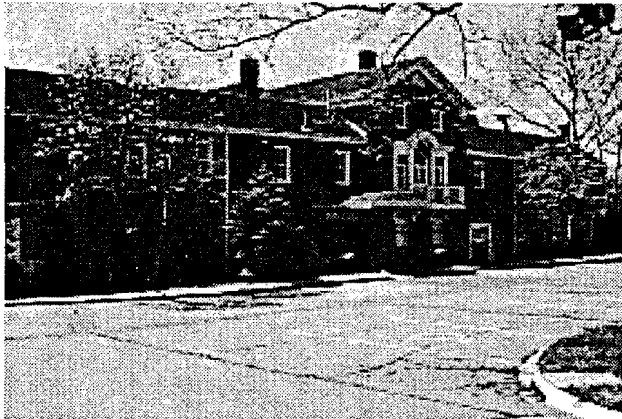
**KEY PRESERVATION ISSUES**

This building is a candidate for significant alteration or demolition. The empty site would then be a candidate for new construction. Note that the location is highly significant and great care must be exercised to minimize the impact of proposed changes on adjacent structures. The parking area to the south has also been designated as a potential site for new construction.

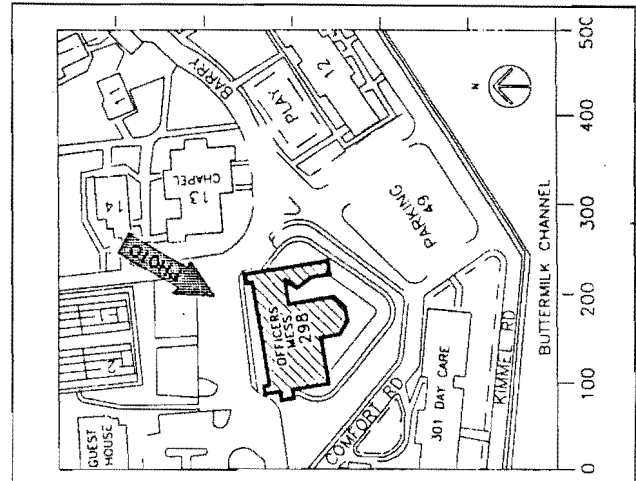
**LANDSCAPE & SITE FEATURES**

Building #293 is surrounded on three sides by the parade ground and paved roadways and parking to the south.

**BUILDING #298  
SOUTH BATTERY**



*Front Elevation*



*Site Location Map*

**ARCHITECTURAL DESCRIPTION**

Building #298, most recently used as the Officers' Club, is a highly evolved building built in multiple generations on the remains of the South Battery. The original Half Moon Battery, or South Battery, was built in 1812 prior to the war with Britain to serve, along with Castle Williams and Fort Jay, as a key component of New York's defensive fortifications. Only the lower level composed of red sandstone walls, remains of that original structure. The barracks constructed on the older sections was constructed in the middle of the nineteenth century. It consists of brick masonry bearing walls in Flemish bond, white trimmed windows with lights of varying sizes and numbers (eight-over-two and two-over-two double-hung windows), and white-painted trim and cornices. The building is ornamented with Neo-Georgian details with a Palladian window treatment in the main facade and pilasters. The main entrance features rusticated stone masonry. A brick masonry wing includes arched window openings, stone keystones, pedimented doorways and another Palladian window facing an outdoor terrace.

**SITE LOCATION**

The building is located in the southern end of the Historic District in a cluster of community/recreational structures. The main entrance faces Fort Jay

to the north. In between the two are the tennis courts. The Chapel (Building #13) lies to the northeast and the Guest House (Building #293) lies to the northwest. Building #298 is located within the original stone Battery walls.

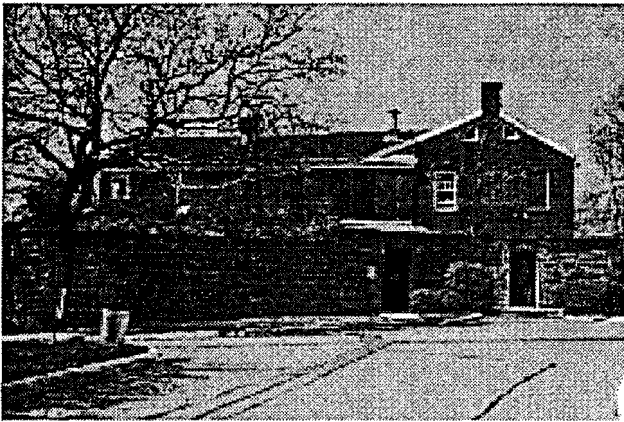
**HISTORIC DEVELOPMENT**

Built as part of the larger harbor fortification system just prior to the War of 1812, South Battery was sited to overlook and protect the Buttermilk Channel. The Battery had an arrowhead shape with thirteen cannon on an open parapet. What is now Building #298 began as a single-story barracks structure with a slate gable roof built within the original fortification in the 1840s. Prior to 1863, the second story was added and the building occupied by noncommissioned staff. In 1878 the structure became the Officers' Mess Hall and Catholic Chapel. The building was remodeled in 1904 and converted into an amusement hall and lecture room for enlisted men. Between 1936 and 1937, the WPA rebuilt the second floor as The Corbin Dining Hall. In 1939 the building became the Officer's Club.

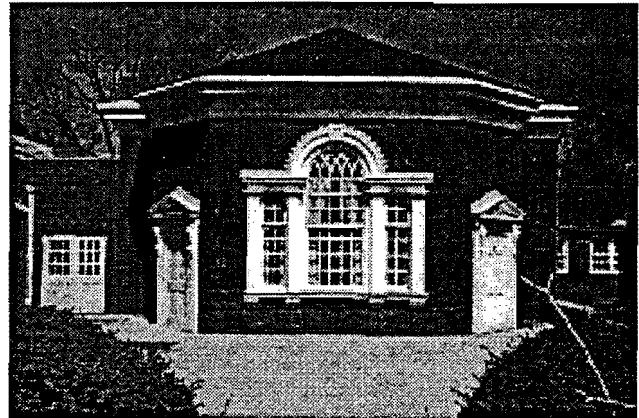
**SIGNIFICANCE**

Building #298 is a Category 2 property.

## *Governors Island Historic District*



*Rear Elevation*



*Second Floor Rear Elevation Showing Ballroom Window*

The original red sandstone section of the Battery played a very significant role as one of the Island's three batteries of defenses. The remnants of that original fortification include red sandstone walls that now serve as a retaining wall for Building #298, above. Building #298, together with the remains of the South Battery, are greatly altered from their original forms, yet retain a high degree of significance due to the central role these structures played in the history of Governors Island.

### **WHAT IS IMPORTANT TO PRESERVE?**

The exterior of Building #298 reflects the many, varied uses the structure has undergone. The interior has been greatly altered and, with the exception of the formal second floor Ball Room, has a low level of architectural integrity.

Exterior elements of the building that should be preserved include the red sandstone Battery wall; exterior brick masonry, and door and window treatments; wood cornice and wooden balustrades.

Interior elements of the building that should be preserved include the woodwork, doors, windows, ceiling and minstrels' gallery in the second floor ballroom.

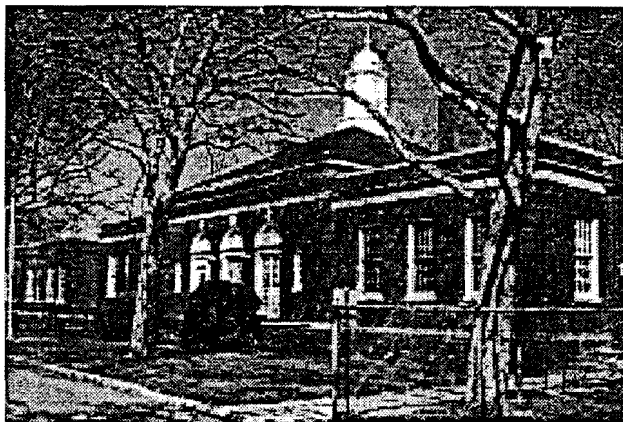
### **KEY PRESERVATION ISSUES**

The remaining Battery walls and fortification elements, including historic archeological remains, are important preservation issues, as is preservation of the second floor Ball Room. The scale of the building, and its orientation between Fort Jay and Buttermilk Channel are important aspects that should be preserved.

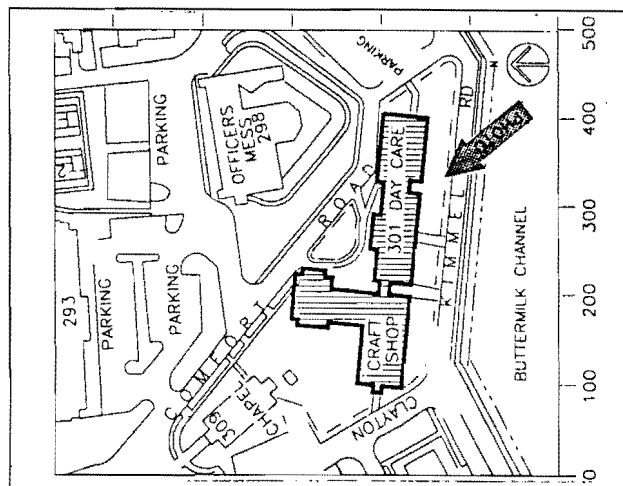
### **LANDSCAPE & SITE FEATURES**

The building is surrounded by paved roads and parking lots. Any mature trees and landscaping surrounding the property should be preserved and maintained.

**BUILDING #301  
SCHOOL**



Front Elevation



Site Location Map

**ARCHITECTURAL DESCRIPTION**

Building #301 is a one-story "Neo-Georgian" style structure with a modified L plan. The reddish-brown brick facing is laid up in Flemish bond on a brick foundation. Brick quoins mark the corners and the bay divisions. The central section has an asphalt-covered pyramidal roof with a cupola and a projecting pedimented entrance pavilion on the north side. Semicircular cast stone steps on a brick base (replaced on the west side with a ramp) with a wrought-iron railing lead to a limestone porch on brick check walls. The entrance surround has wood pilasters supporting a transom with decorative fanlight. The cast stone pediment contains an eagle in relief. On the south (Kimmel Road) side, the entrance pavilion has three arched French doors opening onto a veranda of brick and cast stone. Both the central sections and the wings have a cast stone beltcourse above the basement and window openings with cast stone sills and splayed brick lintels. The window sashes are double-hung metal replacements with applied muntin grids.

**SITE LOCATION**

The building overlooks Buttermilk Channel and is bound by Kimmel Road to the south, Clayton Road to the west and Comfort Road to the north. It is located behind Building #298/South Battery.

**HISTORIC DEVELOPMENT**

This school building was constructed in 1934 when the army base at Governors Island expanded to accommodate the needs of the 16th Regiment. The architect, Eric Kibbon, practiced in New York City during the 1930s. The Neo-Georgian design is not only compatible with the many multi-family residential structures built on the base at the time, but was also one that was popular for public school design. Wings at the east and north, added in 1959-60, are stylistically compatible with the center pavilion. After the construction of a large public school (c.1970) outside the boundaries of the historic district, this building was converted to a daycare center and craft shop.

**SIGNIFICANCE**

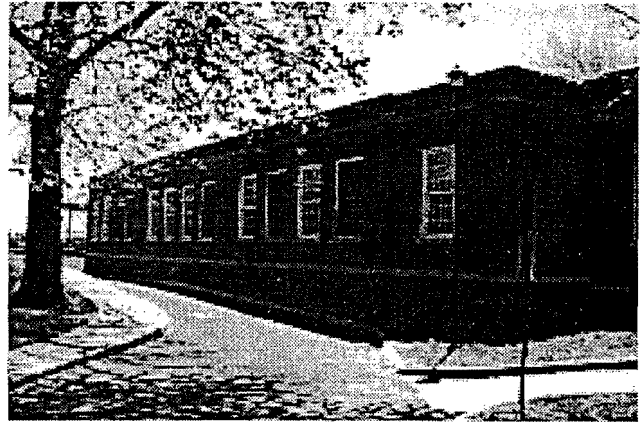
Building #301 is a Category 2 property.

This structure is associated with the last major building campaign on Governors Island marking the establishment of substantial and permanent military community. It has been used as a school since its construction in 1934.





*Rear Elevation*



*Addition*

### WHAT IS IMPORTANT TO PRESERVE?

Building #301 has undergone significant alterations with the construction of two large additions and replacement of all of the windows. However, these alterations have been sensitively executed.

Exterior elements of the building that should be preserved include its scale, the center section of the building with the hipped and roof bell tower, and side wings.

Because of extensive remodelings, there are no interior elements that should be preserved.

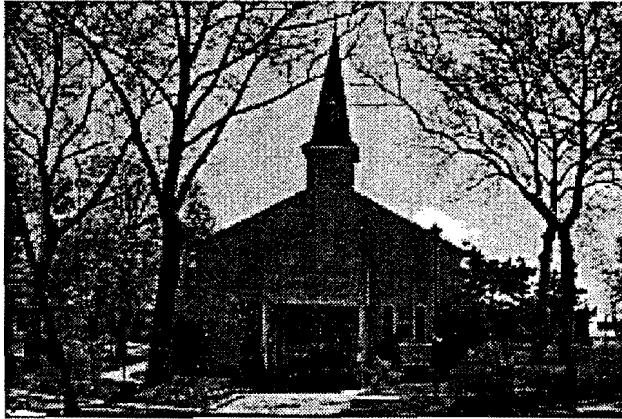
### KEY PRESERVATION ISSUES

The scale of Building #301 is an important issue. Its site is constrained, not allowing room for additions. However, the area between Building #301 and #309, at the northwest corner of the building, could be a suitable site for new construction.

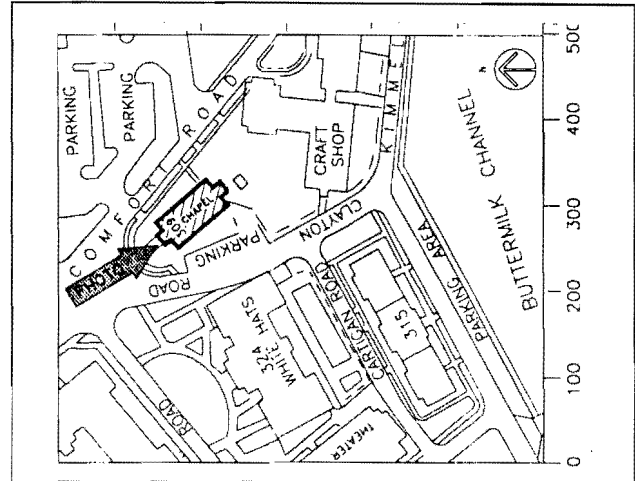
### LANDSCAPE & SITE FEATURES

Building #301 is surrounded by concrete and asphalt roads and walkways, and mature trees are located within grassy plots around the building. Mature trees and landscapes around the building should be preserved.

**BUILDING #309  
CATHOLIC CHAPEL**



*Front Elevation*



*Site Location Map*

**ARCHITECTURAL DESCRIPTION**

Building #309 is a one-story rectangular frame structure covered with vinyl siding. The gabled roof is covered with asphalt shingles. A tower at the north end, rising behind the entrance porch, has a copper finial. A brick chimney is at the south end. The window openings have six-over-six sash on the north end; the other window openings on the sides have sixteen-over-sixteen sash set behind storm sash.

**SITE LOCATION**

The building occupies a prominent triangular site at the intersection Clayton and Comfort Roads.

**HISTORIC DEVELOPMENT**

Building #309 was built as Our Lady Star of the Sea Catholic chapel c.1942, during the Army base's Second World War expansion. It continued in that use until 1997.

**SIGNIFICANCE**

Building #309 is a Category 3 property.

It represents the ongoing development of the military community on Governors Island.

**WHAT IS IMPORTANT TO PRESERVE?**

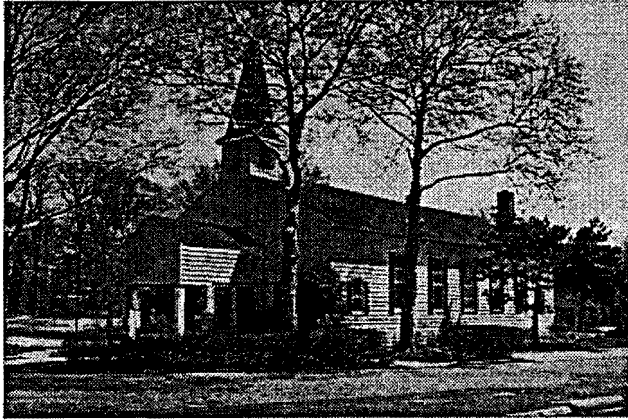
The exterior of Building #309 has been substantially altered by the addition of vinyl siding and other alterations, including a rear addition with wood steps and covered landing, and the front entry vestibule. The original architectural integrity of the building has been lost.

There are no exterior or interior elements of the building that should be preserved. This building may be demolished.

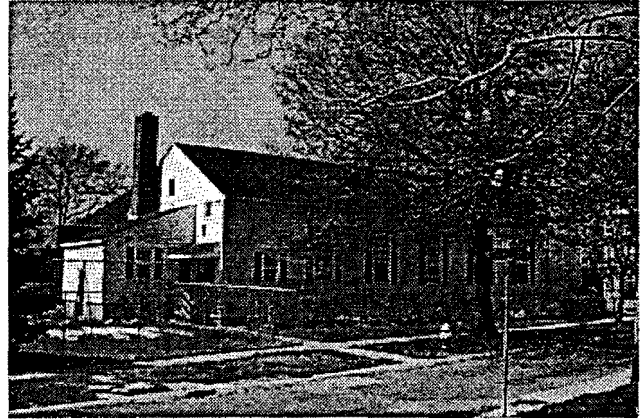
**LANDSCAPE & SITE FEATURES**

The mature trees and landscaping surrounding the property should be preserved and maintained.

*Governors Island Historic District*



*Side Elevation*

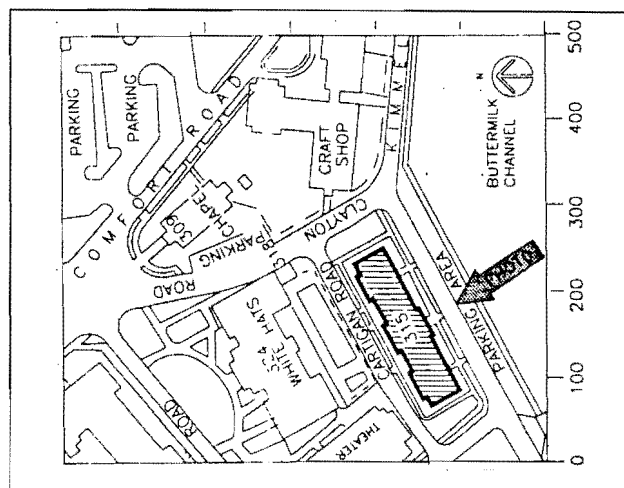


*Rear Elevation*

**BUILDING #315  
FAMILY HOUSING**



*Front Elevation*



*Site Location Map*

**ARCHITECTURAL DESCRIPTION**

Building #315, built 1938-40, is a three-and-one-half story, rectangular-shaped "Neo-Georgian" style structure. The building is constructed of red brick laid in common bond with simple Georgian Revival detailing and cast stone accents at the entrance and sills. It is organized into three sections with a shallow projecting pavilion surmounted by a pediment, which intersects the slate-covered hipped roofs.

**SITE LOCATION**

The building overlooks Buttermilk Channel, facing Craig Road South. It is bordered by Cartigan Road to the north, Clayton Road to the east, and Division Road to the west.

**HISTORIC DEVELOPMENT**

Building #315 was constructed in 1938-40 along with Building #555, anchoring the two ends of Division Road, as family housing for officers of the 16<sup>th</sup> Regiment. Situated on landfill overlooking the Buttermilk Channel, it was part of the unified beautification plan proposed in 1928 for Governors Island by the architectural firm of McKim, Mead and White. Construction was delayed until funding became available in the late 1930s.

**SIGNIFICANCE**

Building #315 is a Category 2 property.

Designed by the prominent New York architectural firm of McKim, Mead & White, Building #315 is typical of the residential buildings built by the Army in the 1930's to accommodate the permanent military community on the Island. This structure is within the New York City Governors Island Historic District, which was designated on June 18th, 1996. It is included in the National Register for Historic Places nomination, which dates from October 1984.

**WHAT IS IMPORTANT TO PRESERVE?**

Building #315 appears to have undergone few alterations since its construction.

Exterior elements of the building that should be preserved include its form and scale; brick masonry; cast stone door surrounds; pediments at projecting pavilions; wood cornice; iron rails at steps; leaded glass; and, transom above entry doors.

Interior elements of the building are undistinguished, and do not require preservation.



*Rear Elevation*



*Setting*

#### KEY PRESERVATION ISSUES

The scale and form of the building, along with its Neo-Georgian style are important preservation issues, as is the siting of the structure. Because of its design and site constraints, there are no suitable areas for above ground additions to the building.

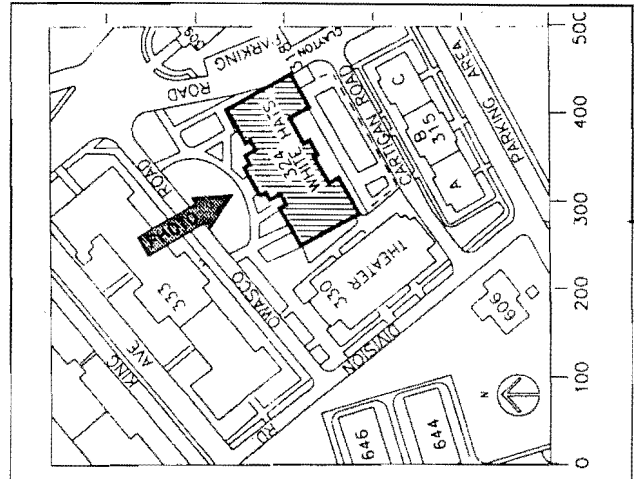
#### LANDSCAPE & SITE FEATURES

Building #315 is surrounded by concrete and asphalt paving, however, mature trees are located along the southern edge of the building, edging Craig Road South. This landscaping should be preserved and maintained.

**BUILDING #324**  
**YMCA**



*Front Elevation*



*Site Location Map*

**ARCHITECTURAL DESCRIPTION**

Building #324 is a rectangular Neo-Georgian style structure with a two-story central section flanked by one-story wings. The red brick facing is laid up in Flemish bond. A limestone beltcourse bearing the date "1926" marks the foundation. The center section has an asphalt-covered hipped roof and a projecting two-story wood entrance portico with a gabled pediment. The portico is approached by granite steps. The entrance has a limestone surround and paired paneled wood doors. A panel reading "Army YMCA" is placed above the door. The flanking wings have asphalt-covered pyramidal roofs and pedimented doorway surrounds of wood. The window openings have splayed brick lintels; those that have not been boarded up retain six-over-six double-hung sash. On the rear elevation of the central section, the frame second story has been covered with aluminum siding. An outdoor swimming pool is raised above grade to the south of the building.

**SITE LOCATION**

The building faces onto Owasco Road and is north of Cartigan Road.

**HISTORIC DEVELOPMENT**

Designed by May and Hillard, this structure was built in 1926 as the Fort Jay YMCA and was the first of the large brick buildings constructed between the wars. The Neo-Georgian style set the pattern for the buildings that followed. The building replaces an earlier, much smaller "Y" and houses a club, offices, and exercise rooms with an outdoor swimming pool to the rear. The building has been vacant for several years.

**SIGNIFICANCE**

Building #324 is a Category 2 property.

It has served as a community center for the Island since its construction and was the forerunner of the building boom on the Island between the World Wars.

**WHAT IS IMPORTANT TO PRESERVE?**

Over the years, Building #324 has undergone several alterations—a brick pump house (Building #318) at the northeast corner of the property; a wood addition on the east facade; and, many of the windows infilled with brick or concrete.

## *Governors Island Historic District*



*Rear Elevation*



*Setting*

Exterior elements of the building that should be preserved include its form, scale, and style; brick masonry; wood door surrounds and half round transoms; wood entrance porticos with columns and pediments; window openings; and, limestone door surround at the main entrance under the portico.

Because of the numerous remodelings of the building, there are no interior elements that should be preserved.

### **KEY PRESERVATION ISSUES**

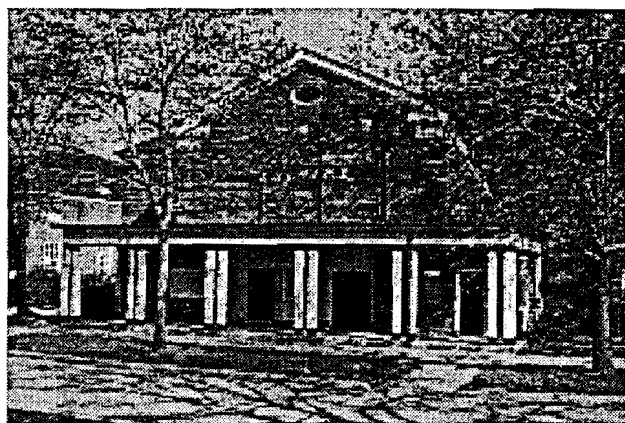
The scale and style of Building #324 are important issues, and the formality of its presentation along Owasco Road. No additions should be placed on the front (Owasco Road) of the building, or the sides. The swimming pool to the rear of the building, along with the south facade, can be removed or modified. New construction or additions could occur on that portion of the site.

### **LANDSCAPE & SITE FEATURES**

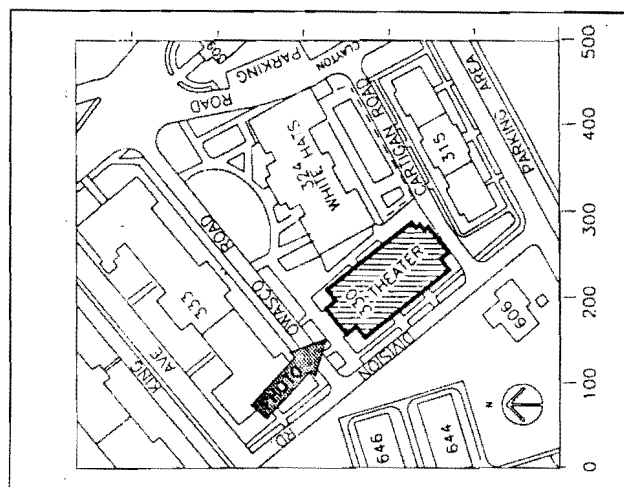
The mature trees and landscaping surrounding the building should be preserved.



**BUILDING #330**  
**THEATER**



*Front Elevation*



*Site Location Map*

**ARCHITECTURAL DESCRIPTION**

Building #330 is a two-story Neo-Georgian style theater building on a concrete foundation faced with a reddish-brown brick laid in American bond. The main block of the building has brick quoins at the corners and a slate-covered hipped roof. On the north side is a two-story gabled projection above the entrance portico. This projection has three blind arches at the second floor with cast stone keystones and impost blocks, brick quoins and a raking wood cornice outlying the gable. A metal sign bar bearing the letters "THEATRE" extends across the arches. A one-story wood entrance portico with a flat roof extends across the north front and shelters the freestanding ticket booth and the entrances to the theater. Openings along the east and west sides of the building have wood six-over-six double-hung windows and auxiliary entrances/exits. A projecting wing with a hipped roof has been added at the south end of the building.

**SITE LOCATION**

The building faces on to Owasco Road and is bordered by Cartigan Road to the north and Division Road to the south. It is grouped with other community-oriented structures including building #324.

**HISTORIC DEVELOPMENT**

Building #330 was designed and constructed between 1937-39 to serve as a theater. It is rectangular in plan with Neo-Georgian detailing at the exterior and Art Deco detailing within the auditorium. It was typical of theaters constructed on military bases during that period. It has continued to be used for the showing of films and as an auditorium.

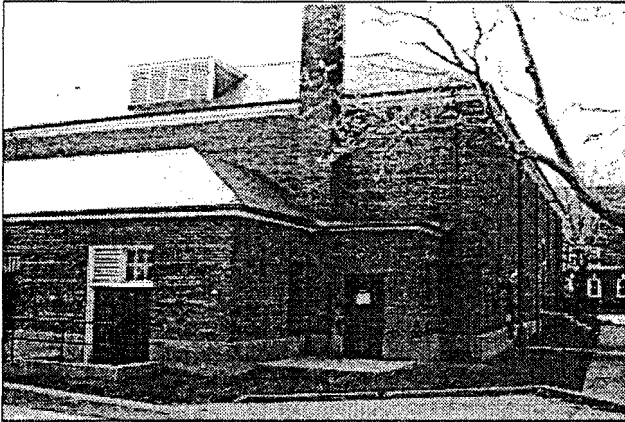
**SIGNIFICANCE**

Building #330 is a Category 2 property.

It has continually provided an entertainment/social center for the base. It is representative of the between-the-wars building boom and the accommodation of the permanent military community on the Island. This structure is within the New York City Governors Island Historic District. It is listed in the National Register for Historic Places nomination, which dates from October 1984.

**WHAT IS IMPORTANT TO PRESERVE?**

Building #330 has retained a great deal of its original material and appearance. Over the years there have been alterations including two brick additions to the rear.



*Rear Elevation*



*Side Elevation*

Exterior elements of the building that should be preserved include the building scale and basic form; the front facade, except for the railings; brick masonry quoins at the corners and piers along facades; door surrounds and blind arches at the side entrances; and, the fascia at cornice and porch.

Based on the contribution of this building to the Historic District, there are no interior elements that should be preserved.

#### **KEY PRESERVATION ISSUES**

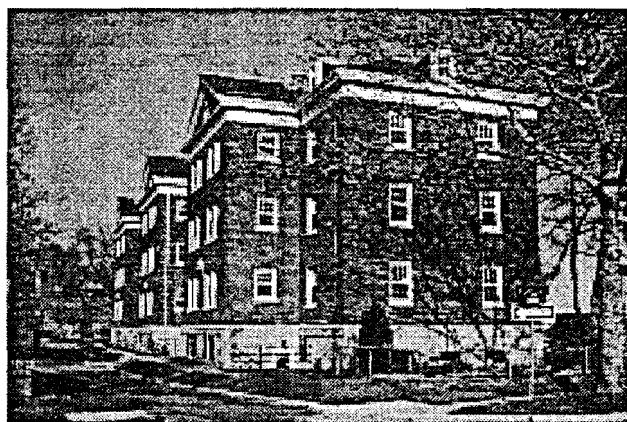
The orientation of the building to Division Road, maintaining a formal setback and line related to Building #400, is an important feature, as is the scale of the structure.

Because of the site constraints, there currently is no location where additions could be placed on the building. However, if space was available, additions could be placed on the northeast side of the building without causing damage to its significance.

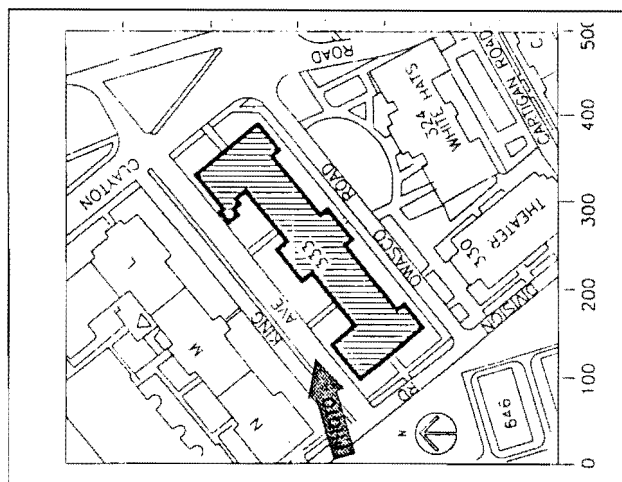
#### **LANDSCAPE & SITE FEATURES**

Building #330 is surrounded by concrete and asphalt paving, which have no significance. Mature trees are located within grassy plots around the building should be preserved.

**BUILDING #333**  
**DETACHMENT BARRACKS**



Front Elevation



Site Location Map

**ARCHITECTURAL DESCRIPTION**

Building #333 is a three-story Neo-Georgian style structure arranged in a U-shaped plan and constructed of brick on a sandstone/concrete foundation. A limestone beltcourse separates the first story from the upper floors. The building has asphalt shingle covered gable roofs. A central projection contains an entrance porch composed of stone columns and pilasters supporting an iron balustrade. The entrance has a granite sill with Palladian windows located above. Two-story open galleries are located along the courtyard facade. Fenestration consists of aluminum six-over-six double-hung windows and paneled wood doors.

**SITE LOCATION**

The building is located between King Avenue, Owasco Road, Division Road and Clayton Road.

**HISTORIC DEVELOPMENT**

Building #333, along with Building #550, was constructed in 1932 according to plans prepared by the architectural firm of McKim, Mead and White for "Detachment Barracks". The Army used the building as a barracks for enlisted men. The two nearly identical buildings flank Building #400 and are very similar to it in general design features.

These three buildings were part of the unified beautification plan proposed in 1928 for Governors Island by the office of McKim, Mead and White. Construction was delayed until funding became available in the late 1930s. When built, the main entrance was oriented to Owasco Road.

After the First Army moved its headquarters to Bristol, England, in 1943 the barracks were turned over to the Second Service Command who converted part of the building for office space. In 1946 the building housed a WAC detachment. In 1966 the Coast Guard converted the building to classrooms for training purposes. It has most recently been used for offices.

**SIGNIFICANCE**

Building #333 is a Category 2 property.

It was designed by the prominent New York architectural firm of McKim Mead & White. Along with Buildings #400 and #550 it forms a clear defining edge to the historic district along Division Road.

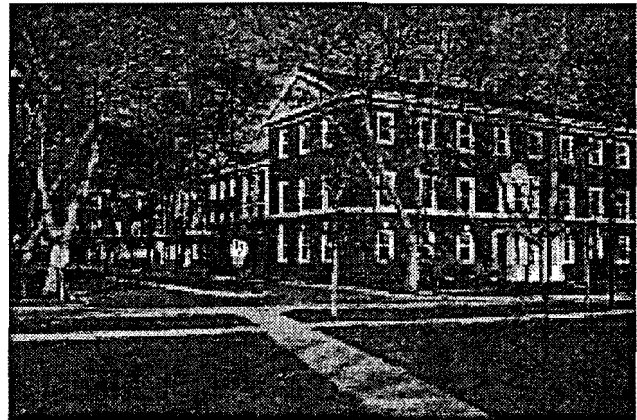
**WHAT IS IMPORTANT TO PRESERVE?**

All four facades of Building #333 are designed to be primary facades and are rich in detail and articulation. The interior of Building #333 has been exten-

## *Governors Island Historic District*



*Partial Rear Elevation*



*Setting*

sively modified over the years, and all of the building windows have been replaced.

Exterior elements of the building that should be preserved include its scale, form, and basic design; brick and limestone masonry and detailing; wood cornice and gable rakes; entrance porch, including columns and pilasters; wood elements and iron balcony; half-round windows; and, open galleries.

Because of numerous and extensive remodelings, there are no interior elements that should be preserved.

### **KEY PRESERVATION ISSUES**

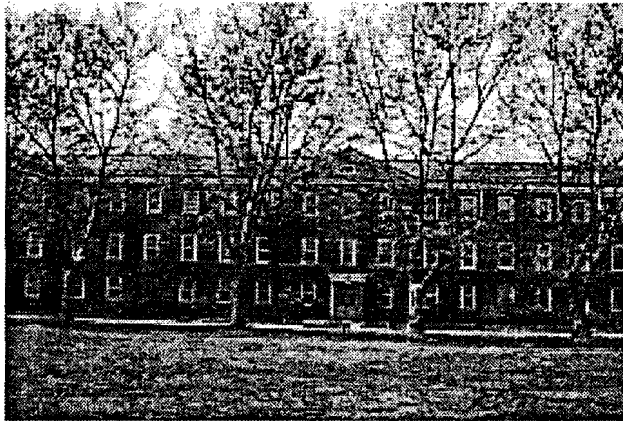
The basic scale, form, and detailing are important preservation elements, as is the orientation of the building to Building #400, Division Road, and Clayton Avenue.

Because of the design and detailing of the building, the placement of additions must be carefully considered.

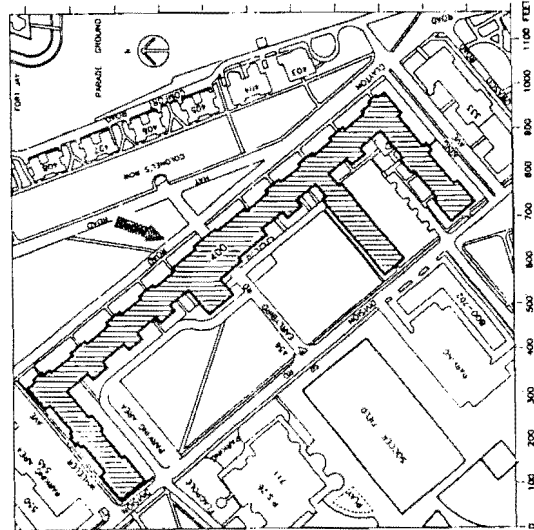
### **LANDSCAPE & SITE FEATURES**

The brick sidewalks and mature landscaping surrounding the building should be preserved.

**BUILDING #400  
LIGGETT HALL**



*Front Elevation*



*Site Location Map*

**ARCHITECTURAL DESCRIPTION**

Designed by the office of McKim, Mead and White, Building #400, also known as Liggett Hall, is the largest building on Governors Island and among the largest military buildings in the world. A U-shaped Neo-Georgian style structure, it has a tall central section with a monumental arched sallyport oriented north-south through the building. The pedimented sallyport is set within a shallow projection delineated by stone quoins. Its arched entryway consists of alternating stone and brick voussoirs. The central block, which is covered by a steeply pitched slate-covered gable roof, and the four corner pavilions each have a cupola. Prominent paired end chimneys are present on either end of the central block. Extending from the central block are three-story wings with two-story galleries that line the courtyard facades. Simple, slightly projecting portico entrances lead into each wing. Exterior walls are composed of red brick set on a concrete foundation, window openings have limestone sills, and windows consist of six-over-six, double-hung metal replacements. Two-story open galleries face the courtyard. Building #400 is the centerpiece of the between-the-wars building boom, and forms the southern boundary of the historic district.

**SITE LOCATION**

The central block of Building #400 faces Colonels Row across Clayton Road, and the central arched sallyport spans Early Bird Road. The structure was designed as the centerpiece of the "Island Beautiful" building campaign that took place in the 1930s. Its monumental presence separates the historic portion of Governor's Island from the later landfill area that was developed following World War II.

**HISTORIC DEVELOPMENT**

In 1902, the Army chose the architecture firm of McKim, Mead, and White to develop a major improvement plan for Governors Island. Their proposed changes were extensive, and for several decades there was little funding to implement the ambitious plan. By 1928 only the land mass-expansion and seawall portions of the project had been carried out. The office of McKim, Mead, and White began to design Building #400, which was the first construction element of the plan, after appropriations were made in 1928. The building housed the entire 16<sup>th</sup> Infantry, 1,375 soldiers, when it was completed in 1930. The building was erected along the former southwestern shoreline of the Island and was the first permanent structure built entirely on landfill.

## *Governors Island Historic District*



*Central Entry*



*Setting*

Modifications were made to the building over time, including an extensive set of interior alterations carried out during the 1960s and 1970s to reconfigure the quarters and improve living conditions. The building was renamed Liggett Hall, after First Army commander Lieutenant General Hunter Liggett, in 1957.

### **SIGNIFICANCE**

Building #400 is a Category 2 property.

The building is significant in the history and development of Governors Island. It was the first building designed to house an entire regiment and is closely associated with the important American design firm McKim, Mead, and White and the "Island Beautiful" movement. As the largest quarters building, it played an important role during the Island's administrative period.

### **WHAT IS IMPORTANT TO PRESERVE?**

Building #400 experienced significant interior alterations in the 1960s and 1970s. Exterior alterations from this period include adding two new wings to the original structure and closing off portions of the first-story arcade. Levels of interior integrity are low; however, the exterior still substantially retains its 1930 appearance. Two large additions were constructed within the courtyard of Building #400. These additions have no architectural

merit. Some of the galleries facing the courtyard have been enclosed with glass.

Exterior elements of the building that should be preserved include the formal design, its scale and form; brick masonry walls; stone detailing; central cupola; slate chimney; monumental sallyport; paired end chimneys; pedimented entrances; location of window and door openings; and the galleries.

Due to extensive remodelings, there are no interior elements that should be preserved.

### **KEY PRESERVATION ISSUES**

The overall design of Building #400, with its detailing and open galleries are important elements that should be preserved. The orientation of the building, forming a solid wall along Clayton Avenue, and the entry into the southern portion of the Island are preservation issues that have to be taken into consideration when redeveloping and using this building. Site constraints prevent additions to be placed on the north, east or south portions of the building. Previously constructed additions within the building's west courtyard are inappropriate in scale and design, and can be removed. Any new construction in this area must take into consideration the original design intent of the building, its scale, and detailing.

### **LANDSCAPE & SITE FEATURES**

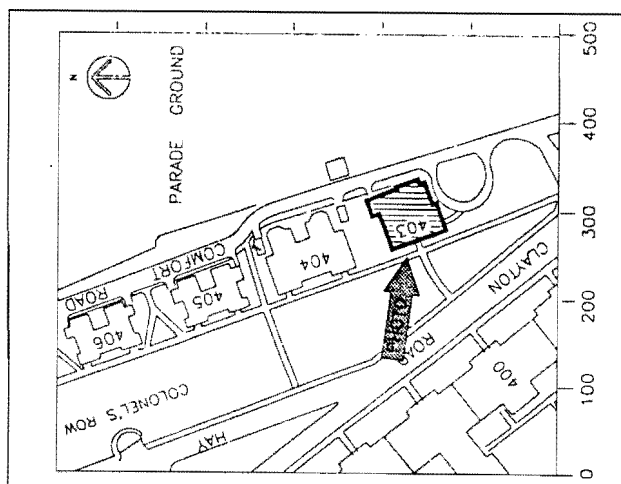
The mature trees and historic monuments located around the building should be preserved.



**BUILDING #403  
OFFICER'S HOUSING**



*Front Elevation*



*Site Location Map*

**ARCHITECTURAL DESCRIPTION**

Building #403 is a two-and-one-half story red brick Colonial Revival style house that rests on a schist foundation. It is one of a group of eight brick buildings located adjacent to each other on the Colonel's Row, all of which exhibit Colonial-Revival style details. It has an L-shaped plan and is masonry bearing wall construction. An asphalt-shingle gable roof with raking denticulated wood cornice tops the structure. Fenestration consists of two-over-two, double-hung wood windows set behind storm sash with prominent brick keystones and lintels. The building also retains its historic parred paneled wood doors. A full-length porch with Tuscan columns and a standing-seam metal roof is present on the front (west) elevation. Garages were added at the rear of the quarters in 1931.

**SITE LOCATION**

The building is last of a group of eight brick residential buildings built around the turn-of-the-century, along what is now Hay Road, constructed according to standardized plans of the Quartermaster General. This area comprises a row of distinguished brick residences facing a large wedge-shaped open space with two long avenues lined by London Plane trees. It resembles a rustic boulevard. Its rear facade faces the main parade ground and Fort Jay.

**HISTORIC DEVELOPMENT**

Building #403 was built according to standard Quartermaster's Plans and Specifications as two units of officers quarters. Army real estate records, however, indicate that Quarters #403 was built in 1904-06 as a single-family residence. The row along Hay Road, of which this is a part, was part of an ongoing program of construction related to the use of Governors Island as a major army command center. The presence of substantial numbers of important officers on the Island necessitated the construction of accommodations, such as these, that were appropriate to their rank.

**Significance**

Building #403 is a Category 2 property.

It is included within the New York City Governors Island Historic District and the National Historic Landmark District. It is a good example of turn-of-the-century military-quarters design. More recently, the building was used for important diplomatic meetings between President Ronald Reagan and world leaders, including Francois Mitterand and Mikhail Gorbachev.





*Rear Elevation*



*Setting*

#### WHAT IS IMPORTANT TO PRESERVE?

The exterior of Building #403 is in good condition, retaining most of its original fabric. An enclosed sun porch has been added to the rear of the building off the kitchen, and a garage was built on the north side of the building.

Exterior elements of the building that should be preserved include its overall design, scale, and form; brick masonry exterior; wood windows; ornamental keystones lintels and sills; denticulated wood cornices at roof line and between 2nd and 3rd floors; front porch with Tuscan columns; corbeled chimneys; rusticated foundation; and, paneled wood entrance doors.

Although there are some interesting details in the building interior, there are no elements that require preservation.

#### KEY PRESERVATION ISSUES

The orientation of the building to the parade ground and green, as one of the officers housing units along the row is important, as is the overall style and configuration of the structure.

There are no apparent opportunities for additions on the front of the building, however, with removal of the non-contributing garage unit to the rear, an addition could be placed at that location.

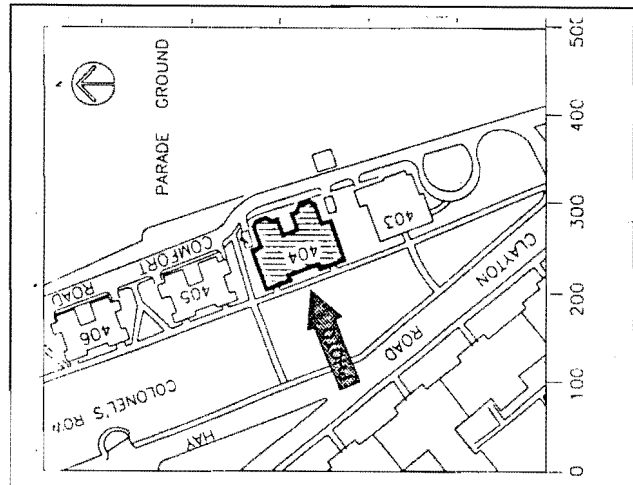
#### LANDSCAPE & SITE FEATURES

Building #403 faces the small park encompassing Colonel's Row with the rear facades facing the parade ground. It is surrounded by sloped brick walkways and mature trees, which should be preserved.

**BUILDING #404  
OFFICER'S HOUSING**



*Front Elevation*



*Site Location Map*

**ARCHITECTURAL DESCRIPTION**

Building #404 is a two-story double Colonial Revival style house that rests on a schist foundation. It is one of a group of eight brick buildings located adjacent to one other on the Colonel's Row. The entire row exhibits colonial-revival details. All were built according to the standardized Quartermaster's Plans and Specifications. Building #404 has a rectangular plan and symmetrical facade arrangement with a cross-gable roof that has prominent denticulated cornices. The roof is sheathed in asphalt shingles. The structure is red pressed brick masonry-bearing construction. Fenestration consists of two-over-two double-hung wood windows set behind storm sash. Building #404 also retains its historic paneled wood doors set behind storm doors. Garages were added to the rear of the quarters in 1931. Front porches have been removed from the building and their entrances reconfigured.

**SITE LOCATION**

The building is one of a group of eight brick residential buildings built around the turn-of-the-century along what is now Hay Road. This area comprises a row of distinguished brick residences facing a large wedge-shaped open space with two long avenues lined by London Plane trees. Its rear facade faces the main parade ground and Fort Jay.

**HISTORIC DEVELOPMENT**

The building was built according to the standard Quartermaster's Plans and Specifications, as two units. The row along Hay Road, of which this is a part, was part of an ongoing program of construction related to the use of Governors Island as a major Army command center. The presence of substantial numbers of important officers on the island necessitated the construction of accommodations, such as these, that were appropriate to their rank. In 1952, the building was divided into four living units.

**SIGNIFICANCE**

Building 404 is a Category 2 property.

It is a good example of turn-of-the-century military-quarters design.

**WHAT IS IMPORTANT TO PRESERVE?**

The exterior of Building #404 is in good condition, retaining most of its original exterior fabric. The two original porches have been removed and replaced by small copper hoods installed over the front doors, and a two-story brick enclosed sun porch was added to the north side of the building.



*Rear Elevation*



*Side Elevation*

Exterior elements of the building that are important to preserve include its overall scale and design; brick masonry exterior; schist foundation; wood cornice; segmental-arched and round arched window openings with ornamental lintels and sills; Palladian windows in north & south gables; two-over-two double-hung windows; and, paneled wood entrance doors.

The interior of the building has undergone numerous remodelings and changes associated with conversion of the duplex into a fourplex. Although there are some interesting details, there are no interior elements requiring preservation.

#### KEY PRESERVATION ISSUES

The relationship of this building to Colonel's Row and the adjacent structures is an important preservation issue. Additions to the front of the building would be inappropriate, but additions to the rear may be acceptable, especially if the non-contributing garages were removed.

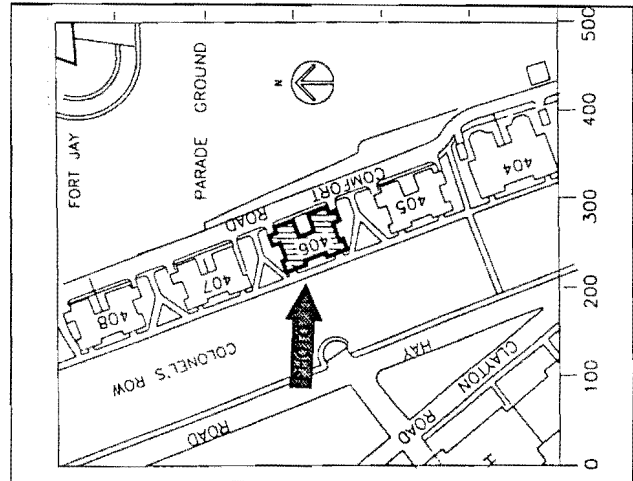
#### LANDSCAPE & SITE FEATURES

Building #404 faces the small park encompassing Colonel's Row with the rear facades facing the parade ground. It is surrounded by sloped brick walkways and mature trees, which should be preserved.

**BUILDING #406  
OFFICER'S HOUSING**



*Front Elevation*



*Site Location Map*

**ARCHITECTURAL DESCRIPTION**

Building #406 is a two and one-half story red brick, double Romanesque Revival style house that rests on a schist foundation. It is one of a group of eight brick buildings located adjacent to one another on Colonel's Row. Building #406, along with buildings #405, #407 and #408, was built as a double-unit officer's quarters, according to the standardized Quartermaster's Plans and Specifications. This building has a symmetrical plan with a projecting central gable on the front facade. Two hipped-roof wings project from the rear of the building. Wood denticulated cornices help define the roof form. The house is red pressed brick masonry-bearing construction. The cross-gable roof is covered with asphalt shingles. The building retains its original paired front porches, which are supported by slender, paired Tuscan columns. The detailing of the porch and the shape of the window openings and the front stairs varies from the standard plan. Fenestration consists of one-over-one double-hung wood windows and paneled wood doors.

**SITE LOCATION**

The building is one of a group of eight brick residential buildings built around the turn-of-the-century along what is now Hay Road constructed according to standardized plans of the Quartermaster General.

The area in which it is located comprises a row of distinguished brick residences facing a large wedge-shaped open space with two long avenues lined by London Plane trees. It resembles a rustic boulevard. Its rear facade faces the main parade ground and Fort Jay.

**HISTORIC DEVELOPMENT**

Building #406 was built in 1893 according to standard Quartermaster's Plans and Specifications as two units of officers quarters. The row along Hay Road, of which this is a part, was part of an ongoing program of construction related to the use of Governors Island as a major army command center. The presence of substantial numbers of important officers on the Island necessitated the construction of accommodations, such as these, that were appropriate to their rank.

**SIGNIFICANCE**

Building #406 is a Category 2 property.

It is a good example of turn-of-the-century military-quarters design.



*Rear/Side Elevation*



*Setting*

#### **WHAT IS IMPORTANT TO PRESERVE?**

The exterior of Building #406 is in good condition, retaining most of its original fabric.

Exterior elements of the building that should be preserved include its overall design, scale, and form; brick masonry exterior; schist foundation; wood cornices; segmental-arched and round-arched window openings; ornamental lintels and sills; one-over-one double-hung wood windows; paneled wood entrance doors with transoms; and, wood porch elements.

There are no interior elements that required preservation.

#### **KEY PRESERVATION ISSUES**

The location, scale, and design of the building facing the green as part of Colonel's Row is critical in maintaining the character of the site. New construction or additions should be limited to areas away from the front and side facades, but could occur at the rear of the building on the site of the non-contributing garages.

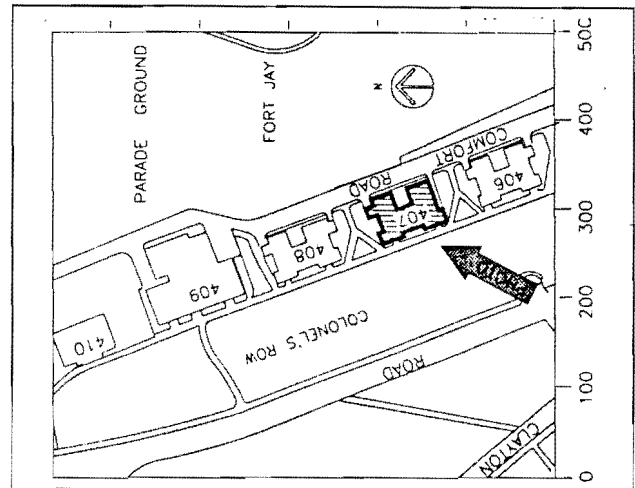
#### **LANDSCAPE & SITE FEATURES**

Building #406 faces the small park encompassing Colonel's Row with the rear facades facing the parade ground. It is surrounded by sloped brick walkways, which should be preserved, and mature trees.

**BUILDING #407  
OFFICER'S HOUSING**



Front Elevation



Site Location Map

**ARCHITECTURAL DESCRIPTION**

Building #407 is a two and one-half story red brick, double Romanesque Revival style house that rests on a schist foundation. It is one of a group of eight brick buildings located adjacent to one another on Colonel's Row. Building #407, along with buildings #405, #406, and #408, was built as a double-unit officer's quarters, according to standardized Quartermaster's Plans and Specifications in 1894. This building has a symmetrical plan with a projecting central gable on the front facade. Two hipped-roof wings project from the rear of the building. Wood denticulated cornices help define the roof form. The house is red pressed brick masonry-bearing construction. The cross-gable roof is covered with asphalt shingles. The building has paired front porches. Slender, paired Tuscan columns support one original porch. The porch to the south has been expanded and enclosed to create a sunroom. The detailing of the porch and the shape of the window openings and the front stairs varies from the standard plan. Fenestration consists of one-over-one double-hung wood windows set within segmental- and round- arched openings featuring splayed brick lintels and slate sills. The building retains its historic paneled wood doors.

**SITE LOCATION**

The building is one of a group of eight brick residential buildings built around the turn-of-the-century along what is now Hay Road constructed according to standardized plans of the Quartermaster General. The area in which it is located comprises a row of distinguished brick residences facing a large wedge-shaped open space with two long avenues lined by London Plane trees. It resembles a rustic boulevard. Its rear facade faces the main parade ground and Fort Jay.

**HISTORIC DEVELOPMENT**

Building #407 was built in 1894 according to standard Quartermaster's Plans and Specifications as two units of officers quarters. The row along Hay Road, of which this is a part, was part of an ongoing program of construction related to the use of Governors Island as a major army command center. The presence of substantial numbers of officers on the island necessitated the construction of accommodations, such as these, that were appropriate to their rank. A small, non-contributing, brick garage was added to the northeast corner of the building in 1931. A memorial, semicircular bench is present in front of the building.



*Rear Elevation*



*Setting*

#### SIGNIFICANCE

Building #407 is a Category 2 property.

It is a good example of turn-of-the-century military-quarters design.

#### WHAT IS IMPORTANT TO PRESERVE?

The exterior of Building #407 is in good condition, retaining most of its original fabric, however the interior underwent significant WPA-era alterations. Although a small garage and enclosed sun porch have been added to the structure, it still succeeds in conveying its historic appearance. The front porch of Unit B was torn down & replaced with a brick enclosed sunroom w/ a sunken garage below and a front vestibule were removed. An attached garage was built toward rear of Unit A. Unit B was completely gutted and reconfigured around 1938. Unit A is more intact with a greater number of historic details.

Exterior elements of the building that should be preserved include its basic design, scale, and form; brick masonry exterior; schist foundation; wood cornices; segmentally-arched and non-arched window openings; ornamental lintels and sills; paneled wood entrance doors; and, wood porch elements.

Due to extensive remodelings, there are no interior elements that require preservation.

#### KEY PRESERVATION ISSUES

Building #407 is part of a prominent group of buildings within the Historic District, maintenance of its design and scale are important to preserve the character of the site. New construction or additions to the building should not occur on the front or side facades.

#### LANDSCAPE & SITE FEATURES

Building #407 faces the small park encompassing Colonel's Row with the rear facades facing the parade ground. It is surrounded by sloped brick walkways, which should be preserved and maintained, and mature trees.



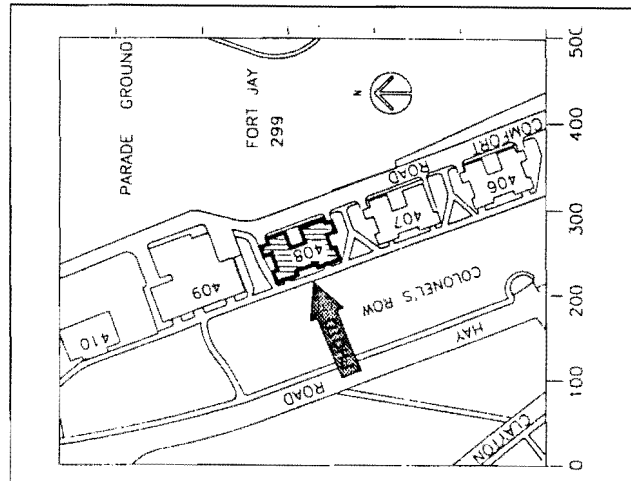
**BUILDING #408  
OFFICER'S HOUSING**



*Front Elevation*

**ARCHITECTURAL DESCRIPTION**

Building #408 is a two and one-half story, brick double Romanesque Revival style house on a rusticated schist foundation that was constructed as an officers quarters. It is one of a group of eight brick buildings located adjacent to one another on Colonel's Row. Building #408, along with buildings #403, #404, #405, #406 and #407, was built according to standardized Quartermaster's Plans and Specifications in 1895. This building has an irregular-shaped plan and consists of a red pressed brick masonry bearing walls topped with an asphalt-shingle cross gable roof with paired gabled dormers. Prominent cornices help to define the roof form. Segmental-arched and round-arched window openings have splayed brick lintels and slate sills. Differences in #408 mainly appear in the width of the back stairs, which are wider than on other buildings. Other differences appear in the design of the attic dormer windows and in the details of the porch. The building retains its two-over-two double-hung historic wood windows set behind storm sash and paneled doors. The building possesses paired porches situated on either side of a projecting center wing. Square brick replacement piers support the porches. A garage was added to the northeast side in 1931. The southeast side garage was added later, and is located on the basement.



*Site Location Map*

**SITE LOCATION**

Building #408 is one of a group of eight brick residential buildings built around the turn-of-the-century along what is now Hay Road constructed according to standardized plans of the Quartermaster General. The area in which it is located is a row of distinguished brick residences facing a large wedge-shaped open space with two long avenues lined by London Plane trees. It resembles a rustic boulevard. Its rear facade faces the main parade ground and Fort Jay.

**HISTORIC DEVELOPMENT**

The building was constructed according to standard Quartermaster's Plans and Specifications as two units of officers quarters. The row along Hay Road, of which this is a part, was part of an ongoing program of construction related to the use of Governors Island as a major army command center. The presence of substantial numbers of important officers on the island necessitated the construction of accommodations, such as these, that were appropriate to their rank.

**SIGNIFICANCE**

Building #408 is a Category 2 property



*Rear Elevation*



*Setting*

It is a good example of turn-of-the-century military-quarters design.

#### WHAT IS IMPORTANT TO PRESERVE?

The exterior of Building #408 is in good condition, retaining most of its original fabric. The original wood front porches of each unit have been rebuilt in brick.

Exterior elements of the building that should be preserved include its design, scale, and form; brick masonry exterior; schist foundation; wood cornices; segmental-arched and round-arched window openings; ornamental lintels and sills; paneled wood entrance doors with transoms; wood porch elements; and, two-over-two double hung wood windows.

The interiors of all of the Colonel's Row houses have been significantly altered. Because of this, there are no interior elements that require preservation.

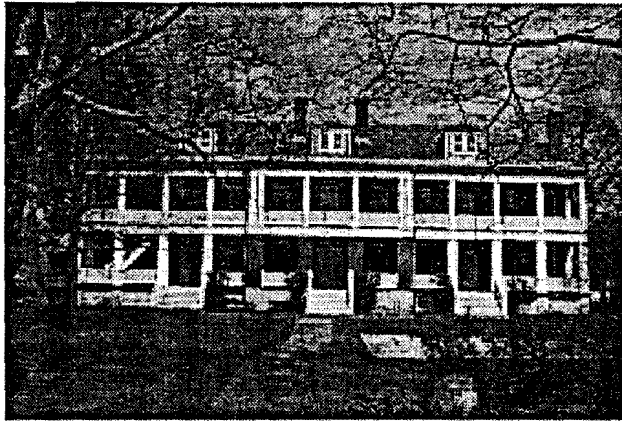
#### KEY PRESERVATION ISSUES

The contribution of this building to the Colonel's Row is critical to maintain. Additions to the building should not be placed on the front or sides, but may be constructed at the rear.

#### LANDSCAPE & SITE FEATURES

Building #408 faces the small park encompassing Colonel's Row with the rear facades facing the parade ground. It is surrounded by sloped brick walkways and mature trees, which should be preserved and maintained.

**BUILDING #409**  
**BACHELOR OFFICERS' QUARTERS**



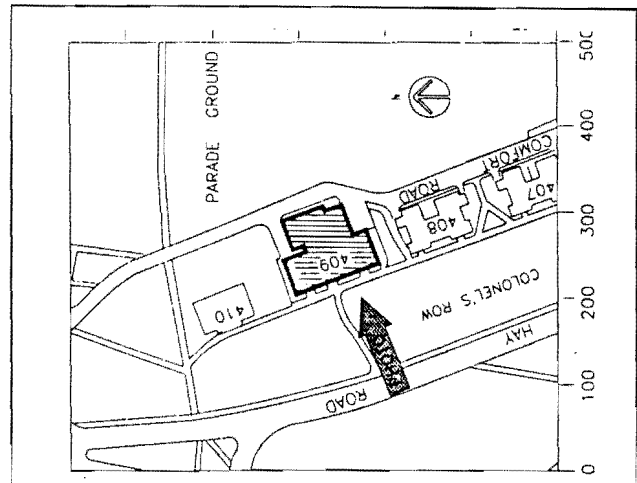
*Front Elevation*

**ARCHITECTURAL DESCRIPTION**

Building #409 is a two and one-half story Colonial Revival style residence resting on an ashlar limestone foundation that was built as Bachelor Officers' Quarters. It is one of a group of eight brick buildings located adjacent to each other on Colonel's Row. Buildings #403 to #410 were built according to the standardized Quartermaster's Plans and Specifications between 1893 and 1927. Building #409 is T-shaped in plan and consists of a brown brick masonry bearing walls topped with a slate-covered hipped roof with hipped-roof dormers. Four brick chimneys punctuate the roof. Window openings have splayed brick lintels and are two-over-two double-hung wood sash set behind storm sash. The building retains its historic paneled wood entrance doors with transoms. A full-length wood porch covers the front (west) elevation. It is accessed by three sets of wood steps. The front porch has several square brick replacement columns on the first floor that support wood Tuscan columns on the second level.

**SITE LOCATION**

The building is one of a group of eight brick residential buildings built around the turn-of-the-century along what is now Hay Road constructed according to standardized plans of the Quartermaster General.



*Site Location Map*

**HISTORIC DEVELOPMENT**

Building #409 was built according to standard Quartermaster's Plans and Specifications as Bachelor Officers' Quarters. The row along Hay Road, of which this is a part, was part of an ongoing program of construction related to the use of Governors Island as a major army command center. The presence of substantial numbers of important officers on the island necessitated the construction of accommodations, such as these, that were appropriate to their rank. Garages were added to the north and south sides of the quarters in 1931.

**SIGNIFICANCE**

Building #409 is a Category 2 property.

It is a good example of turn-of-the-century military quarters design.

**WHAT IS IMPORTANT TO PRESERVE?**

The exterior of Building #409 is in good condition, retaining most of its original fabric. The interior was gutted and the floor plan extensively redesigned. All of the windows have been replaced. On the south facade four twentieth century brick piers have replaced the original wood columns.



*Rear Elevation*



*Partial Side Elevation Showing Added Garages*

Exterior elements of the building that should be preserved include its original design and scale; brick masonry exterior; two-story front porch; exterior wood stairs; slate roof; window openings with brick lintels; wood cornices; and, paneled front doors with transoms.

Because of extensive remodelings, there are no interior elements that should be preserved.

#### **KEY PRESERVATION ISSUES**

The setting of this building within Colonel's Row is important, as is its design and scale.

No additions should be placed on the front of the building, however, changes could be made to the rear (Parade Ground) side.

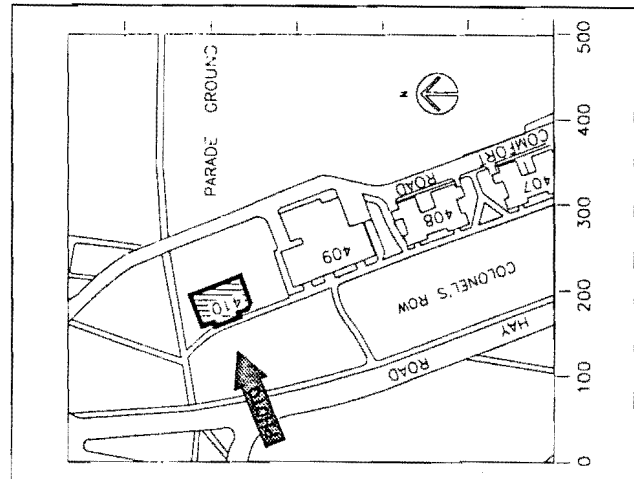
#### **LANDSCAPE & SITE FEATURES**

Building #409 faces the small park encompassing Colonel's Row with the rear facades facing the parade ground. It is surrounded by sloped brick walkways and driveways, which should be preserved and maintained, along with mature trees.

**BUILDING #410**  
**OFFICER'S HOUSING**



*Front Elevation*



*Site Location Map*

**ARCHITECTURAL DESCRIPTION**

Building #410 is a two-family, rectangular plan, brown brick modified Arts and Crafts style dwelling. It is located at the northwest end of the row of larger officer's residences along Hay Road. It is two-story brown brick masonry bearing wall construction with a raised brick foundation and an asphalt-shingle hipped roof with wide eaves. The double central entrance faces west and is enclosed by small screened-in wood porches. Brick chimneys are present on either end of the building. The structure retains its paneled wood doors and six-over-six double-hung wood windows set behind storm sash with limestone sills. The building was built as duplex officers' quarters and is the only example of this plan on the Island.

**SITE LOCATION**

The building was constructed in 1917 as one of a group of eight brick residential buildings built around the turn-of-the-century along what is now Hay Road constructed according to standardized plans of the Quartermaster General. This area comprises a row of distinguished brick residences facing a large wedge-shaped open space with two long avenues lined by London Plane trees. Its rear facade faces the main parade ground and Fort Jay.

**HISTORIC DEVELOPMENT**

Building #410 was built as two units and was the last constructed in this group. The row along Hay Road, of which this is a part, was part of an ongoing program of construction related to the use of Governors Island as a major army command center. The presence of substantial numbers of important officers on the Island necessitated the construction of accommodations, such as these, that were appropriate to their rank.

**SIGNIFICANCE**

Building 410 is a Category 2 property.

It is unique due to its smaller scale and varied use of materials. Although it was built according to standardized Quartermaster plans, it is the only house of its type on the Island. It is a good example of turn-of-the-century military-quarters design.

**WHAT IS IMPORTANT TO PRESERVE?**

The exterior of Building #410 is in good condition, retaining most of its original fabric. The only alterations are the screening in of the front porches and the additional of small wood porches to the rear.

## *Governors Island Historic District*



*Rear Elevation*



*Setting*

Exterior elements of the building that should be preserved include its design and scale; exterior brick masonry; hipped roof supported by flared brackets at eaves; and, paneled wood doors.

There are no interior elements that require preservation.

### **KEY PRESERVATION ISSUES**

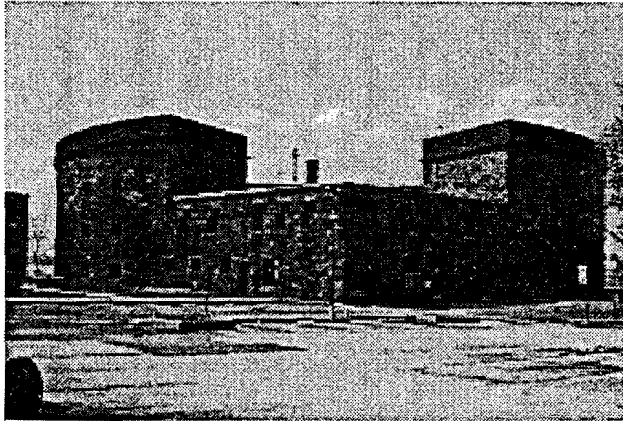
This building forms an anchor to the Colonel's Row development along Hay Road. Accordingly, its design and scale are important issues.

Any new construction or additions associated with this building should not be placed on the front or rear facades.

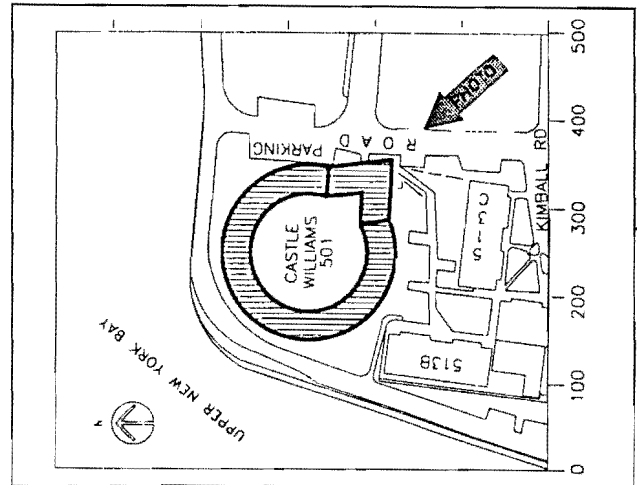
### **LANDSCAPE & SITE FEATURES**

Building #410 faces the small park encompassing Colonel's Row with the rear facades facing the parade ground. It is surrounded by sloped brick walkways and driveways, and mature trees, which should be preserved and maintained.

**BUILDING #501  
CASTLE WILLIAMS**



*Front Elevation*



*Site Location Map*

**ARCHITECTURAL DESCRIPTION**

Building #501, also known as Castle Williams, is one of the most significant structures on Governors Island. Built between 1807 and 1811, the structure is comprised of a three-story, 200-foot diameter masonry fort with a center courtyard. Its basic form consists of five-sixths of a cylinder with an engaged Gate House, which closes the circle. The gate house is the only entrance to the fort and consists of an L-shaped two-story structure with a small turret at the southeast corner and large wooden gates on the east elevation. Castle Williams' masonry walls are constructed primarily of tooled Newark Red Sandstone. A six-foot high parapet at the top of the structure is constructed of granite. Arched gun embrasures have splayed brick sills and iron grills. Window openings present on the second floor of the gate house have cast stone lintels and sills.

**SITE LOCATION**

Castle Williams stands on the northwest edge of the Historic District and overlooks the Upper New York Bay. The fortification is situated at the intersection of Hay and Andes Roads. The area around Castle Williams is presently rather ill defined. An impressive fortress, it dominates this part of the island, but a large parking lot lies to the southeast, and a modern, non-contributing dormitory is situated

nearby to the southwest. The original depressed walkway that once connected Castle Williams to Fort Jay has been infilled, and the historically significant view between them blocked by the Library, Building #251. There is very little in the way of vegetation in this area, which is quite exposed and windy, especially on the harbor side.

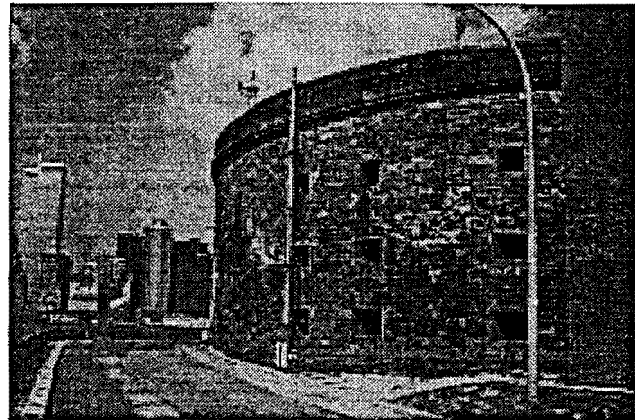
**HISTORIC DEVELOPMENT**

Castle Williams was originally built on an outcropping of rock 100 feet out into the channel as part of the federal Second American System of fortifications in 1805. Lt. Col. Jonathan Williams, Chief Engineer of the U.S. Army and first Superintendent at West Point, designed the fortification with multiple circular tiers, reflecting French engineer's Montalembert's theories. The circular design had less wall space to defend and offered greater protection to guns and men. Rather than having vulnerable, exposed cannon on parapet walls, the fort contained casemate emplacements that allowed heavy guns to be fired in small, protected interior spaces. The use of casemates, multiple tiers of armament, and close apertures of the embrasures were features that made the fortification so innovative for its time. Castle Williams was designed as part of a larger defensive system for the Island, which also included Fort Jay and the South Battery.





*Courtyard at Entrance*



*Setting*

The fortification was never fired upon, and had become obsolete by the mid-nineteenth century. It was converted for use as a detention center for Confederate prisoners of war and as temporary quarters. Its prison function was discontinued in 1966 when the Coast Guard took control of the Island.

#### SIGNIFICANCE

Castle Williams is a Category 1 property.

It is among the most significant structures on Governors Island. It was designed in conjunction with Fort Jay, and the South Battery as part of a comprehensive defensive strategy to protect New York Harbor. It is individually listed on the National Register of Historic Places and was designated an individual New York City Landmark in 1967. The structure was a prototype for American seacoast fortifications and is one of the best examples of its type in existence.

#### WHAT IS IMPORTANT TO PRESERVE?

The appearance of Castle Williams has been altered only minimally over the decades. The overall design and form of the building is important, along with exterior materials and courtyard. In addition, the remaining vistas to and from the Castle are important to preserve.

Exterior elements of the structure that should be preserved include its exterior design, stone masonry construction, casement openings, and orientation on the site.

The courtyard and interior spaces of the Castle have been modified extensively to accommodate changes in uses. Accordingly, there are no interior elements that should be preserved, however, the multistory courtyard should be maintained, either as an open or enclosed space.

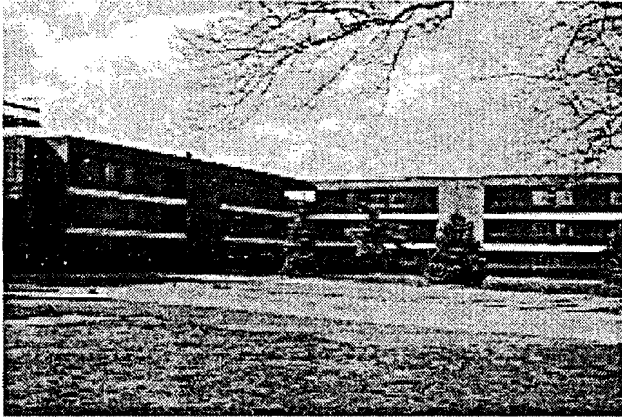
#### KEY PRESERVATION ISSUES

The history and design of the Castle are important preservation issues, as are vistas to and from the structure.

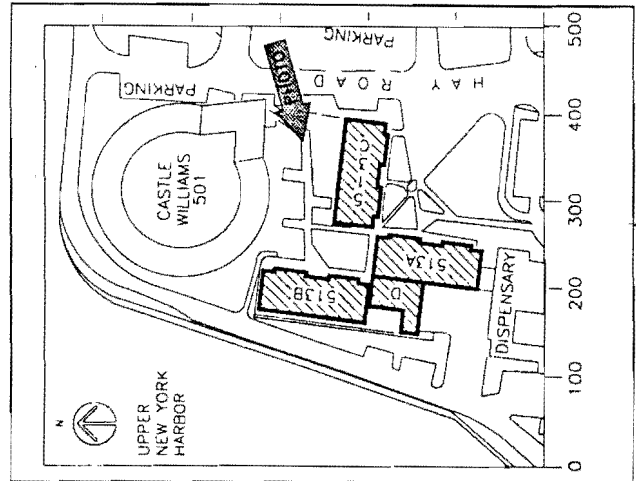
#### LANDSCAPE & SITE FEATURES

Castle Williams is surrounded by paved roadways and parking lots. Few mature trees are located around the building. Limited small grassy plots are located on two sides of the structure. There are no landscapes around the structure that require preservation, however, remaining vistas are important to preserve.

**BUILDING #513  
ENLISTED QUARTERS**



*Front Elevation*



*Site Location Map*

**ARCHITECTURAL DESCRIPTION**

Building #513 is a complex of three modern identical buildings arranged in a pinwheel arrangement; designated as #513-A, #513-B, and #513-C. Each is a freestanding three-story, steel-framed, brick-veneered building with cantilevered wraparound balconies at the second and third floors. A low brick parapet conceals a flat roof.

**SITE LOCATION**

Building #513 is located between Hay Road and Craig Road North, adjacent to Castle Williams.

**HISTORIC DEVELOPMENT**

Building #513 was built in 1970 enlisted quarters. A part of #513A was later used as medical offices. The three-part building was constructed in an effort to provide upgraded living accommodations for Coast Guard personnel.

**SIGNIFICANCE**

Building #513 is a Category 4 property.

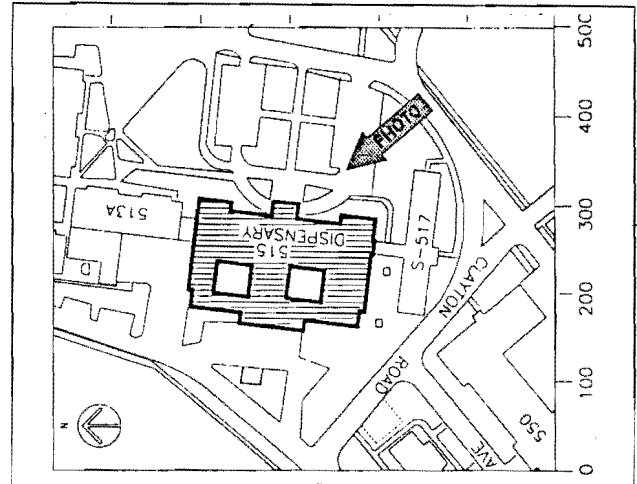
This building is listed as a non-contributing structure in the National Historic Landmark designation of Governors Island.

Building #513 is eligible for demolition but is not a suitable site for new construction due to its proximity to Castle Williams.

**BUILDING #515  
POST HOSPITAL**



*Front Elevation*



*Site Location Map*

**ARCHITECTURAL DESCRIPTION**

Building #515 is composed of a central four-story gable-roofed section with three-story flanking wings with hip roofs, built in the Neo-Georgian style. Walls are of red brick in common bond, with limestone belt courses and window sills. The eaves of the building feature a projecting wood cornice. The center section's slightly projecting entrance pavilion is articulated by rusticated limestone pilasters and a painted pediment with decorative frieze. The primary entrance balcony at the second floor is at the top of an impressive double granite stair on limestone walls; the stairs and balcony retain their original cast iron railings. At the rear of the building, second story porches at the flanking wings appear to have been closed during the 1950's. Windows throughout the building are aluminum six-over-six double-hung replacement windows, and exterior doors are non-original. While not apparent from the exterior, the plan of the building incorporates double loaded corridors circulating around two inner courtyards, intended originally to provide natural light and fresh air to patient rooms. The interior of the building was gutted in the 1980's, leaving no historic fabric in place.

**SITE LOCATION**

Building #515 is located where Wheeler Road merges with Hay Road. Two parking lots to the east of the building obscure Building #515's original setting within a substantial lawn. The rear of the building commands remarkable views across the Hudson River to Ellis, Liberty, and Staten Islands. A small brick structure links Building #515 to the adjacent, and much later, Building #513.

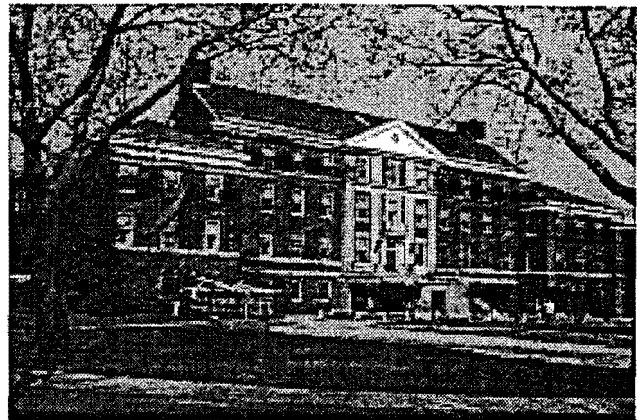
**HISTORIC DEVELOPMENT**

Building #515 was constructed in 1935 to the design of the architectural office of McKim, Mead, and White. Originally built as the Post Hospital, the building was subsequently converted for use as Enlisted Bachelor's Housing. The interior of the building was gutted and rebuilt during the 1980's, functioning as housing until the closing of the U.S. Coast Guard base. Building #515 is a part of the large ensemble of buildings that represent the last major military building campaign on Governors Island, and that were a part of the Island-wide beautification plan, initially conceived by McKim, Mead, and White in 1902.

## Governors Island Historic District



rear Elevation



Setting

### SIGNIFICANCE

Building #515 is a Category 2 property.

It plays a historic role in the expansion of the Island's population between the wars associated with the 16<sup>th</sup> Division. It is one of several institutional buildings, such as the school (#301), the theater (#330), and the Army YMCA (#324), built during the same period as amenities to serve the burgeoning, self-contained military community.

### WHAT IS IMPORTANT TO PRESERVE?

The exterior of Building #515 has retains most of its original exterior materials and appearance.

Exterior elements of the building that should be preserved include its overall design, scale, and form; red brick walls; entrance pavilion with rusticated pilasters and pediment; granite staircase with limestone walls; wrought iron rails on porch and stairs; blind arcades on first floor; and, two internal courtyards.

Because of extensive renovations, there are no interior elements that should be preserved.

### KEY PRESERVATION ISSUES

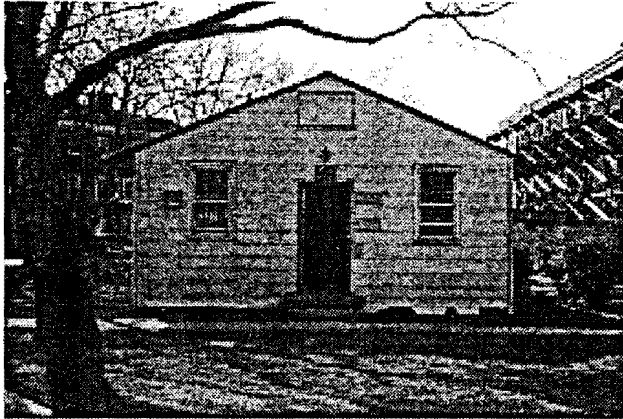
The overall design, scale and siting of the building are important issues to address in any reuse or redevelopment. The loss of integrity on the interior of this building clears the way for substantial alterations, although the interior courtyards should be retained.

Care must be taken in placing additions on the building to preserve the historic elevations from both the Island side and the water side of the structure.

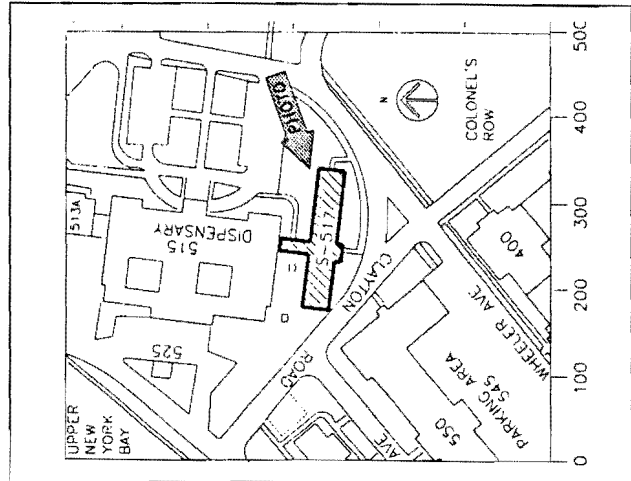
### LANDSCAPE & SITE FEATURES

Building #515 is surrounded by concrete and asphalt paving, which are non-historic. Mature trees are located within grassy plots around the building, which should be preserved and maintained.

**BUILDING #517  
MEDICAL CLINIC**



*Front Elevation*



*Site Location Map*

**ARCHITECTURAL DESCRIPTION**

Building #517 is a one-story frame structure attached by an enclosed walkway to the south side of Building #515. Irregular in plan, the building has tongue and groove wood siding covered with asbestos shingles. The intersecting gabled roof has prominent eave brackets and is covered with asphalt shingles. The six-over-six double-hung windows are covered with storm sash.

**SITE LOCATION**

The building is south of Building #515 and faces on to Clayton Road.

**HISTORIC DEVELOPMENT**

Building #517 was constructed c.1942. Built during World War II as a "temporary" medical clinic; the building was later used as a dental clinic by the Coast Guard.

**SIGNIFICANCE**

Building #517 is a category 3 property.

It is one of the few surviving temporary structures from World War II in the Governors Island Historic District.

**WHAT IS IMPORTANT TO PRESERVE?**

Building #517 may be demolished. It is substantially original but was not intended to be permanent and is generally not consistent with the large brick structures around it.

Exterior Elements To Be Preserved: None

Interior Elements To Be Preserved: None

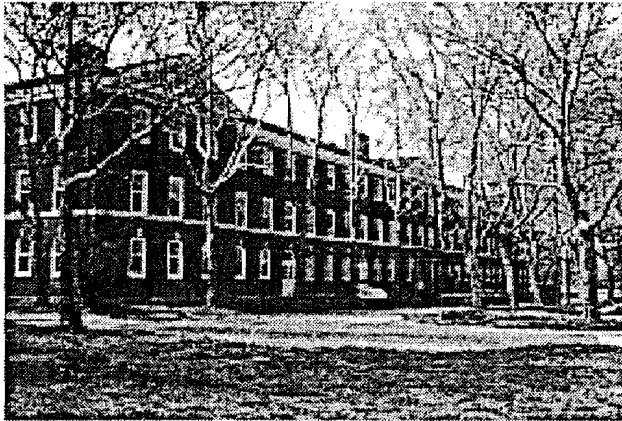
**KEY PRESERVATION ISSUES**

There are no preservation issues associated with this individual building. However, if it is demolished, and new construction is planned for its site, care must be taken to ensure that the new design is compatible with the Post Hospital, Building #515.

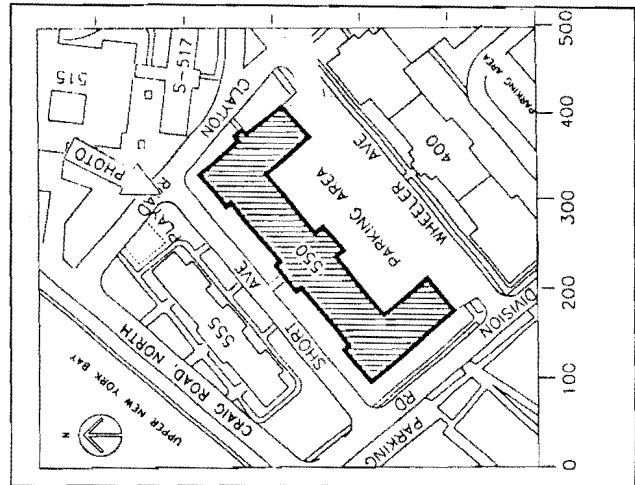
**LANDSCAPE AND SITE FEATURES**

Mature trees are located on grassy plots around the building site should, to the extent possible, be preserved and maintained.

**BUILDING #550  
BARRACKS**



*Front Elevation*



*Site Location Map*

**ARCHITECTURAL DESCRIPTION**

Building #550 is a U-shaped, three-story, brick Neo-Georgian style building on a concrete foundation. The central section faces Short Avenue, and the wings face Clayton and Division Roads. It is constructed of reinforced concrete with a common-bond, brick veneer. The first story is separated from the upper floors by a limestone band course. A cast stone course is also present above the third-floor windows below the roofline. The intersecting gable roofs have a relatively shallow pitch and are clad with asphalt shingles. The entrance is located within a projecting wing centered within the main facade. A columned entrance porch supporting an iron balustrade frames the paired panel and glass doors. Two-story open galleries are present along the courtyard facade. Windows are heavily ornamented. First-floor windows are positioned within blind arcades and have limestone keystones. Second- and third-floor windows are set within squared openings with limestone sills.

**SITE LOCATION**

The building is bounded by Short Avenue, Wheeler Avenue, Division Road, and Clayton Road. It has views of New Jersey, the Statue of Liberty, and Manhattan. It is paired with Building #333 to create flanking barracks buildings on either side of Build-

ing #400. It is located within the Building 400/ Division Road area, which is distinguished by a relatively monumental series of three- and four-story buildings built between 1926 and 1940. They are orthogonal to each other and begin to establish a regular grid of streets. All of the buildings in this area were originally intended for barracks and officers quarters. This is the most uniform and regularized area of the Island, and has a "planned" feel to it. Open spaces are well defined by buildings, as in front of Building #550, and flow from one to another. Mature trees along many roadways contribute both to the regularity and scale of this part of the district.

**HISTORIC DEVELOPMENT**

Building #550 was constructed by the Construction Division of the Office of the Quartermaster General between 1938 and 1940, and was intended to be paired with Building #333. The design and siting of these buildings were outgrowths of McKim, Mead, and White's earlier beautification and facilities improvement plans for the Island. Its Neo-Georgian details echo those found in Building #400 and other structures built during the Island's final building campaign. It served as barracks for 375 soldiers of the First Army of the United States, a unit that was extremely important in World War I and World War II. Part of the building was converted to office use

## *Governors Island Historic District*



*East Elevation*



*Partial Elevation Showing Recent Additions*

when it was turned over to the Second Service Command. In 1966, the Coast Guard renovated the building for classroom use. It was then converted for use as the base clinic in 1994.

### **SIGNIFICANCE**

Building 550 is a Category 2 property.

It is a manifestation of McKim, Mead, and White's plans for Island beautification and has close associations with the First Army of the United States.

### **WHAT IS IMPORTANT TO PRESERVE?**

Significant exterior alterations to Building #550 include the addition of new steel and glass entry structures on the east and courtyard facades, and the enclosure of the brick arcade and porch on the south side of the courtyard. Remodeling activity has removed all visible historic fabric from the interior. All windows are replacement, metal, six-over-six double-hung sash. Gable-end pediments are covered in stucco with lunettes.

Exterior elements of the building that should be preserved include its scale and style; exterior brick masonry; courtyard colonnades and arcades; limestone entrance portico; blind window arches; limestone band course and keystone; projecting pediments with brick piers; limestone and wood cornices; and, Palladian windows and surrounds.

There are no interior elements that should be preserved.

### **KEY PRESERVATION ISSUES**

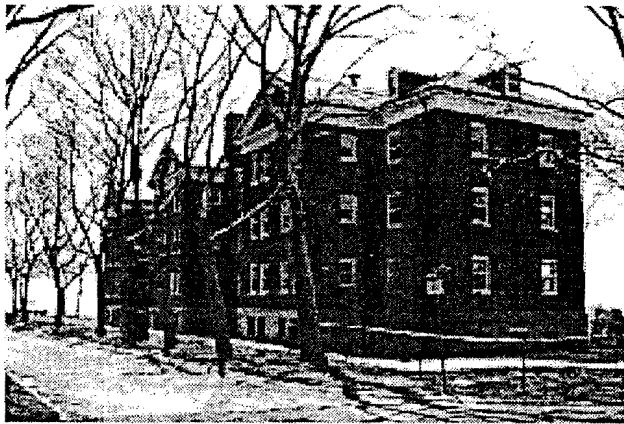
The scale, style, and details of this building, along with its siting, are important issues to address, as is the original detailing, and open space surrounding the building. Because of its relationship to Building #400, any additions placed on the east side of the building must take into consideration the association with that building and its dominate design. Due to site restrictions, there appears to be no opportunity for additions on the north, south, or west sides of the building.

### **LANDSCAPE & SITE FEATURES**

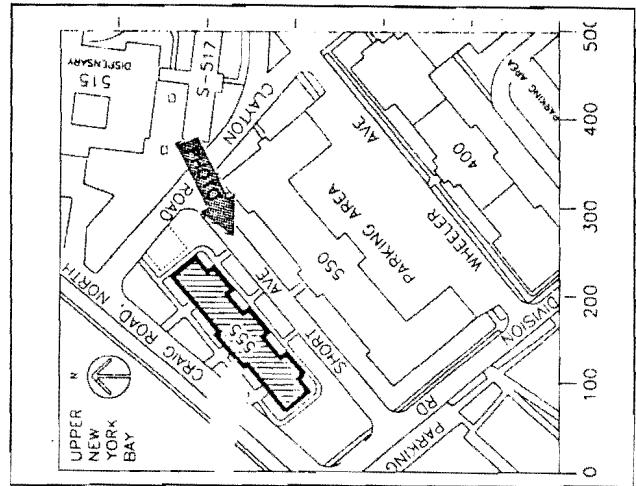
Building #550 is surrounded by concrete and asphalt paving, which are non-historic. The mature trees and grassy plots around the building. should be preserved and maintained.



**BUILDING #555  
FAMILY HOUSING**



*Front Elevation*



*Site Location Map*

**ARCHITECTURAL DESCRIPTION**

Building #555, built in 1938-40, is a three-and-one-half story, rectangular-shaped Neo-Georgian style structure. The building is constructed of red brick laid in common bond with simple Georgian Revival detailing and cast stone accents at the entrance and sills. It is organized into three sections with a shallow projecting pavilion surmounted by a pediment, which intersects the slate-covered hipped roofs. The design and details are identical to Building #315.

**SITE LOCATION**

The building overlooks New York Harbor, and is bordered by Short Avenue to the east, Clayton Road to the north, and Division Road to the west.

**HISTORIC DEVELOPMENT**

Building #555 was constructed in 1938-40 along with Building #315, anchoring the two ends of Division Road, as family housing for officers of the 16<sup>th</sup> Regiment. Situated on landfill, it was part of the unified beautification plan proposed in 1928 for Governors Island by the architectural office of McKim, Mead and White. Stylistically it is compatible with other contemporary structures on the Island.

**SIGNIFICANCE**

Building #555 is a Category 2 property.

Designed by the prominent New York architectural firm of McKim, Mead & White, Building #555 is typical of the residential buildings built by the Army in the 1930's to accommodate the permanent military community on the Island. This structure is within the New York City Landmarks Preservation Commission's Governors Island Historic District. It is included in the National Register for Historic Places nomination, which dates from October 1984.

**What is Important to Preserve?**

Building #555 appears to have few alterations or modernizations.

Exterior elements of the building that should be preserved include its scale and design; brick masonry; cast stone door surrounds; pediments at projecting pavilions; wood cornice; iron rails at steps; leaded glass; and, transom above entry doors.

There are no interior elements that require preservation.



*West Elevation*



*Setting*

#### KEY PRESERVATION ISSUES

As with Building #315, the scale and design of this building are important, as is the vistas to and from the structure. Because of site constraints, there appears to be no area suitable for additions.

#### LANDSCAPE & SITE FEATURES

Building #555 is surrounded by concrete and asphalt paving which are non-historic. Mature trees are located within grassy plots around the building, which should be preserved and maintained.



*Nolan Park*

#### DESCRIPTION

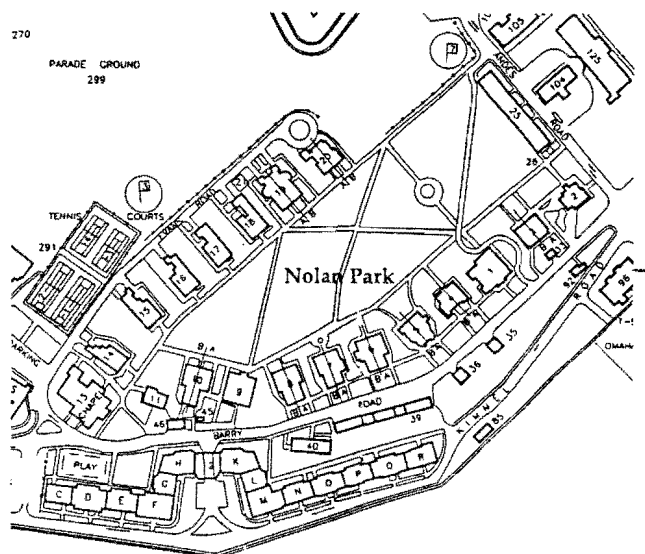
Nolan Park, at the upper east corner of the Historic District, was formed with the development of quarters 1 through 10 on its east side, and quarters 14 through 20 on the west. The north end of the Park is defined by building 25, and buildings 11 and 14 close the southern end. The Park is transected by brick pedestrian walkways. Brick sidewalks also line the edges of the Park open space and mature trees. Included in the Park are several commemorative markers and military artifacts, including an account of the purchase of the island by Wouter Van Twiller in 1637.

Colonel's Row Green is a relatively small triangular, parklike space between Hay Road and Clayton Road. The area contains mature trees, grass, and brick walkways.

#### SITE LOCATION

Nolan Park is located at the upper east corner of the Island, between the west sides of buildings 1 through 10, and the east sides of buildings 16 through 20.

#### NOLAN PARK & COLONEL'S ROW GREEN



*Site Location Map*

Colonel's Row Green is located southwest of Fort Jay, in the southern third of the Historic District. It is bounded on the northeast by quarters 403 through 410, and on the southwest by building 400. The intersection of buildings 403 and 400 close its southern end, but the northern end is open toward Castle Williams,

#### SIGNIFICANCE

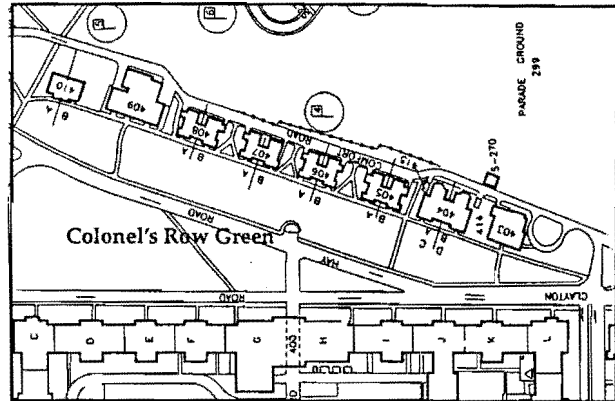
Nolan Park and Colonel's Row Green are defined in the New York City Landmarks Preservation Commission Governors Island Historic District report, dated June 18, 1996 as two of the "important landscape features (which) clearly reflect the island's development patterns and spatial relationships".

Nolan Park was named for Major General Dennis E. Nolan, who was Commander of the First Army from 1933 to 1936. It was simply referred to as "the green" in nineteenth-century documents and accounts. It provided a Park setting for the administration buildings and officers' quarters built around "the green" throughout the 19th century. The Park's current configuration dates to at least the 1870s, when it appeared in a ca. 1871 map of the island.

Nolan Park is a Category 2 property.



*Colonel's Row Green*



*Site Location*

Colonel's Row Green sits on landfill, just south of the island's original shoreline. It is thought to be work carried out through the WPA during the late 1930s.

Colonel's Row Green is a Category 2 property.

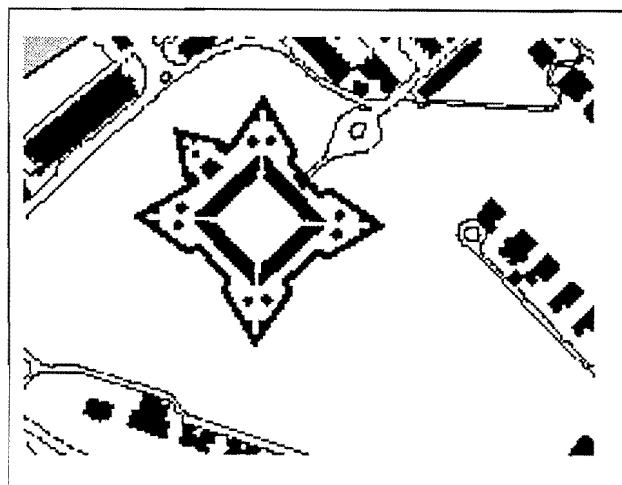
#### WHAT IS IMPORTANT TO PRESERVE

The open spaces defined as Nolan Park and Colonel's Row Green are important to understanding the evolution of development on the island. The brick walkways and mature trees lining those walkways are defining features, as is the uncluttered lawn areas.

FORT JAY GRACIS



*Glacis extending from Ft. Jay*



*Site Location Map*

#### DESCRIPTION

A Glacis is defined as a slope extended in front of a fortification in such a way that it can be swept by the defenders' fire. As originally developed, the Glacis surrounding Ft. Jay extending to the shorelines of the island on all sides. It is fairly uniform grass area slightly sloping down from the Fort. The introduction of buildings during the 19th and 20th centuries has interrupted the unimpeded access to the shoreline, but the character of the feature remains, especially on the west and south sides of the Fort.

#### SITE LOCATION

The Ft. Jay Glacis extends from the fortification north to buildings 109 and 110, south to building 293, incorporating what was defined as the Parade Ground, east to buildings 105 and Nolan Park, and west to building 251 and buildings 403 through 410.

#### SIGNIFICANCE

The Ft. Jay Glacis (including what was defined as the Parade Ground, was defined in the New York City Landmarks Preservation Commission Governors Island Historic District report, dated June 18, 1996 as one of the "important landscape features (which) clearly reflect the island's development patterns and spatial relationships".

The Glacis is a Category 2 property.

#### WHAT IS IMPORTANT TO PRESERVE

The open space defined as the Ft. Jay Glacis is important to understanding the evolution of development on the island. The open lawn area is its primary character defining feature.